

Dangberg Home Ranch Restoration Projects PWP-DO-2022-180

Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423



Bid Documents
2/10/2022

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project

Dangberg Home Ranch
Restoration Projects
Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by RBR
reviewed by MLM
date 2/10/2022
project number 21018
drawing name

Cover Sheet

sheet number

A000

General Notes

1. The General Notes and all other notes herein apply to all work described in the Contract Documents.
2. The Contract Documents consist of the Agreement between the Owner and Contractor, the Conditions of the Contract (General, Supplementary, Invitation to Bid and other Conditions), Drawings, Project Manual, Specifications and Addenda issued prior to execution and all modifications issued after execution of the Contract.
3. The Work includes the completed or partially completed construction required by the Contract Documents and includes all labor, materials, equipment, coordination, and services necessary to produce the Work described in the contract documents.
4. The Contract Documents are complementary, the intent is to include all items and materials necessary for the proper execution and completion of the Work by the Contractor and any necessary sub-contractors.
5. The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency or omission that is discovered. The Contractor to submit a Request for Information (RFI) to the Architect prior to proceeding. The Contractor shall not perform any portion of the Work at any time without current and complete Contract Documents.
6. The Contractor is required to visit the site as part of pre-bid preparation to compare the Drawings and Specifications and become familiar with any work in place and be informed of all conditions of the work environment including the Work being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials of performing any Work in accordance with the Contract Documents that may be required to complete the Work. The Contractor shall report inconsistencies in the drawings, specifications, and site conditions to the Owner and Architect during the bid period. Failure not to report inconsistencies does not relieve the Contractor from furnishing or providing the necessary material and/or labor to complete the work described in the Contract Documents.
7. Drawings are not to be scaled for information or disassembled for convenience.
8. In the event certain features of the Work are not fully shown in the Contract Documents, then the construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect prior to execution.
9. All Work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state and local laws, regulations and ordinances.
10. The Contractor shall comply with notices given and required by lawful orders of public authorities applicable to the performance of the Work.
11. The Contractor shall coordinate locations of any and all items, including but not limited to: existing conditions, civil, landscape, structural, mechanical, plumbing, electrical, lighting, data, voice and audio/visual; including, but not limited to all structure, equipment, ductwork, piping and conduit. Coordinate all required clearances for installation and maintenance of the above items.
12. The Contractor shall supervise and direct the Work, using the best skill and attention necessary and shall be solely responsible for all construction means, methods, techniques, sequences, procedures and for coordination of all portions of the Work described in the Contract Documents.
13. The Contractor shall be responsible for the acts and omissions of the Contractor's employees, Sub-contractors, suppliers, vendors and their agents and employees and other persons or entities performing any portion of the Work under a Contract with the Contractor.
14. The Contractor shall perform the Work in a continuous and diligent manner to ensure Substantial Completion of the Project within the Contract Time.
15. The Contractor shall be responsible for the location and protection of all existing items and materials, all new construction items and materials, adjacent circulation paths (pedestrian and vehicular), and other improvements during the course of construction.
16. Unless noted otherwise in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, machinery, water, heating, utilities, transportation and other facilities and services necessary for the proper execution and completion of the Work.
17. Where conflicts are encountered within the Contract Documents that will effect the quality or extent of the work, such conflict shall be resolved to the satisfaction of the Owner and Architect before the affected items and materials are purchased, fabricated or installed.
18. Where variance occurs between the drawings, specifications, site, and design disciplines, the more stringent requirements shall govern.
19. Where conflicts occur at the Project site, coordinate the necessary layouts and exact locations of all elements of work in conflicting areas with the Architect in the field before proceeding with the Work.
20. Where pre-manufactured items and materials are to be installed, the Contractor shall verify all necessary dimensions in the field prior to the purchase and/or fabrication of the items and materials.
21. The Contractor warrants that materials and equipment furnished under the Contract will be of good quality and new unless identified otherwise in the Contract Documents.
22. The Contractor shall guarantee and warranty all work and materials to the project to be free from defects for a minimum of one year from the date of substantial completion and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee and warranty periods greater than one year may be required elsewhere in the Contract Documents.
23. Where any item or material is indicated in the Contract Documents and not necessarily detailed in each specific case, but are required for a complete and professional installation, such item or material shall be provided as if shown and detailed in full. Contractor to provide all necessary labor, materials, means and methods to furnish and install.
24. The Contractor shall employ a competent Project Manager, Superintendent and necessary personnel for the Work. The Superintendent shall be in attendance at the Project site during execution of the Work.
25. The Contractor shall not employ (for the Project at hand) a proposed project manager and/or superintendent, to whom the Owner and/or Architect have made a reasonable and timely objection. The Contractor shall not change the Project Manager or Superintendent without the Owner's consent.
26. The Contractor shall be responsible for initiating, maintaining and supervising all safety programs and precautions of the Project and Project site during the course of construction, all Work performed shall conform to applicable safety regulations.
27. The Contractor and/or Sub-Contractor shall promptly remedy damage to the Owner's property caused by the Contractor and/or Sub-Contractor to existing conditions and/or new construction.
28. The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the Work the Contractor shall remove all waste materials and rubbish associated with the Work as well as all tools, construction equipment, machinery and surplus materials.
29. The Contractor shall provide the Owner and Architect access to the Project site and Work where ever located. The Contractor shall provide the necessary safety equipment to the Owner, Architect, Engineer or other design personnel visiting the site. Safety equipment shall include, but not be limited to: Hard hat, safety vest, safety glasses, face coverings, reading glasses, dust mask, and hearing protection.
30. Existing conditions including material sizes, configurations and locations as shown in the Contract Documents may not be an exact illustration of existing conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions and actual conditions.
31. The Contractor shall promptly correct Work rejected by the Architect that fails to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion.
32. Shop drawings, submittals, product data and samples are not a part of the Contract Documents. The Architect will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's or Engineer's review of shop drawings, submittals, product data or samples.
33. The Architect has the authority to order minor changes in the Work not involving adjustment to the Contract Sum or extension of the Contract Time. Such orders shall not be inconsistent with the intent of the Contract Documents. Such minor changes will be issued in written format, signed by the Architect.
34. The existing building and the areas adjacent to the projects scope of work will remain occupied during construction. Contractor to minimize disturbances, noise, dust and debris as much as reasonable in order for the building to remain an active and safe facility.
35. The Contract Documents (drawings, project manual, etc.) will be issued to the General Contractor in electronic portable document format (pdf). The General Contractor, sub-contractors, and all others shall be responsible for reproduction (printing) and reproduction costs of the Contract Documents for their use before, during, and after construction operations.

Project Team

Owner Dangberg Home Ranch 1450 NV-88 Minden, Nevada 89423 Phone: Contact: Mark Jensen e-mail: curator@dangberghomeranch.org	Managing Agency Douglas County Community Services 1594 Esmeralda Avenue Minden, Nevada 89423 Phone: (775) 782-9829 Contact: Scott McCullough email: smccullough@douglasnv.us
Architecture Paul Cavin Architect, LLC 1575 Delucchi Lane, Suite 120 Reno, Nevada 89502 Phone: (775) 842-0261 Contact: Paul Cavin, AIA e-mail: paul@paulcavindesign.com Contact: Mike Maddox e-mail: mike@paulcavindesign.com	Structural CFBR Design Group, LLC 5425 Louie Lane, Suite 2C Reno, Nevada 89511 Phone: (775) 470-1365 Contact: Chris Roper, PE/SE e-mail: chris@cfbrgroup.com Contact: Rowland Perez e-mail: rowland@cfbrgroup.com

Electrical
 PK Electrical, Inc.
 681 Sierra Rose Drive, Suite B
 Reno, Nevada 89511
 Phone: (775) 826-9010
 Contact: Joey Ganser, P.E.
 e-mail: jganser@pkelectrical.com
 Contact: Kent Parshall
 e-mail: kparshall@pkelectrical.com

Design Criteria

Applicable Codes and Regulations:

2018 International Building Code
 2018 International Existing Building Code
 2018 International Fire Code
 2017 National Electric Code
 2018 International Energy Conservation Code
 The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings
 U.S. Department of the Interior National Parks Service Cultural Resources Preservation Briefs

Scope of Work

The project consist of renovations of the Gateway Entrance Columns, the Garage and the Carriage House. Refer to scope of work for each structure on sheet A001 for a more detailed description of work.

Sheet Index

A000	Cover Sheet
G100	General Information and Project Data
ARCHITECTURAL	
A001	Architectural Site Plan (For Reference Only)
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A101	Carriage House Floor Plan
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A302	Exterior Elevations - Carriage House
A303	Exterior Elevations - Garage
A304	Exterior Elevations - Garage
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A502	Garage Reflected Ceiling Plan
STRUCTURAL	
S001	STRUCTURAL NOTES & TYPICAL DETAILS
S002	ENTRY CATTLE GUARD REPAIRS
ELECTRICAL	
E001	Electrical Legend, Fixture Schedule and IECC
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E201	Lighting Plans
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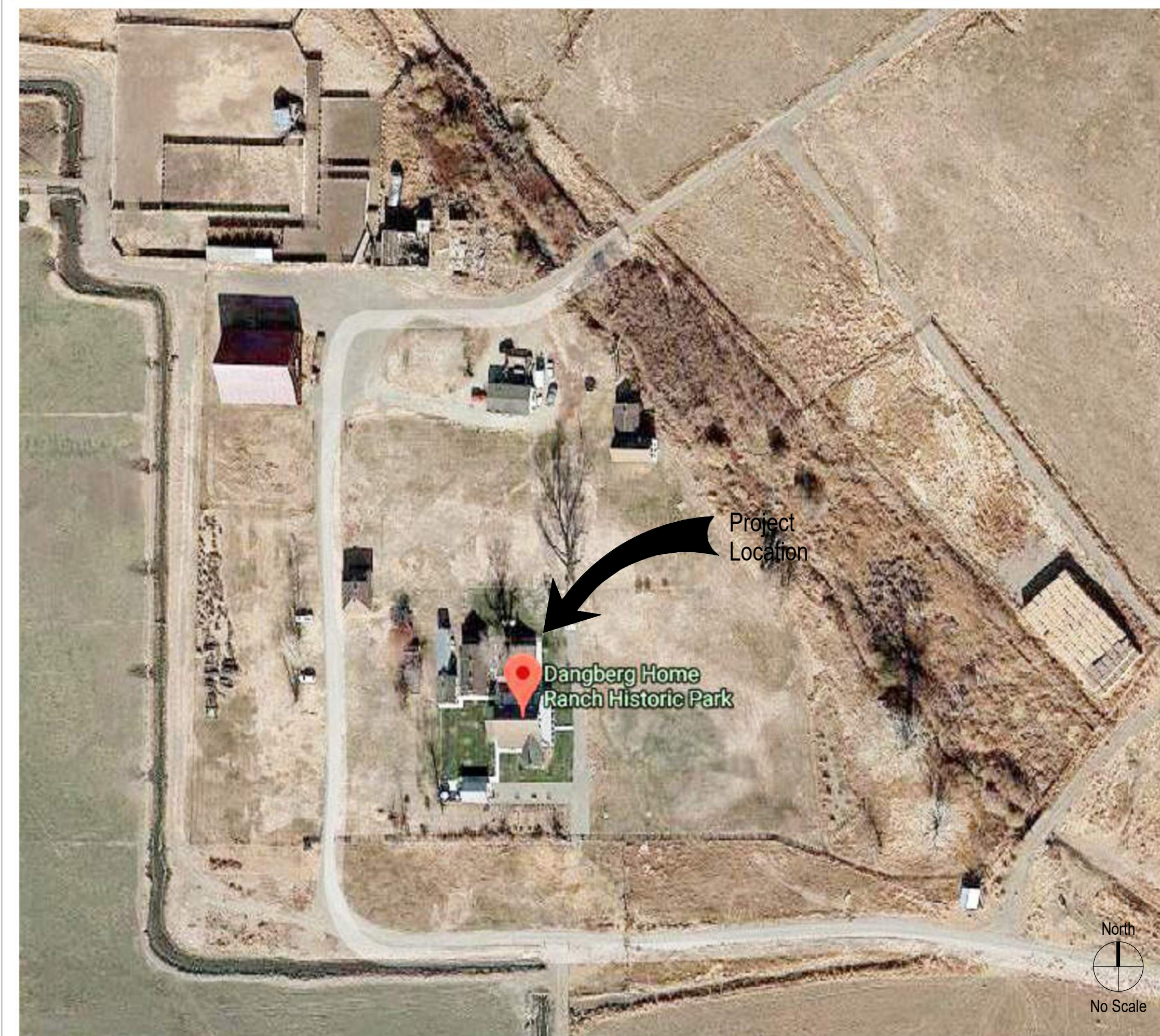
Abbreviations

@ # (e)	At Pound or Number Existing	In ID	Inches Inside Diameter
AC	Asphaltic Concrete	Lav	Lavatory
ACT	Acoustical Ceiling Tile	Lbs	Pounds
AFF	Above Finished Floor	LED	Light Emitting Diode
Alum	Aluminum	LF	Linear Feet (foot)
AV	Audio Visual	Max	Maximum
CF/CI	Contractor Furnished / Contractor Installed	Mfrs	Manufacturer's
CF/OI	Contractor Furnished / Owner Installed	Min	Minimum
CJ	Control Joint	Misc	Miscellaneous
CL	Center Line	MO	Masonry Opening
CMU	Concrete Masonry Unit	NIC	Not in Contract
Conc	Concrete	No	Number
Cont	Continuous	OC	On Center
CPT	Carpet	OD	Outside Diameter
CT	Ceramic Tile	OF/CI	Owner Furnished / Contractor Installed
CTV	Cable Television	OF/OI	Owner Furnished / Owner Installed
Deg	Degree	R	Radius
Demo	Demolition	RCP	Reflected Ceiling Plan
DF	Drinking Fountain	Rev	Revision
Dia	Diameter	RO	Rough Opening
Dim	Dimension	RWL	Rain Water Leader
Ea	Each	T&G	Tongue and Groove
EJ	Expansion Joint	T	Tempered
EWC	Electric Water Cooler	TO	Top of
FD	Floor Drain	TYP	Typical
FDC	Fire Department Connection	UNO	Unless Noted Otherwise
FE	Fire Extinguisher	VCT	Vinyl Composition Tile
FEC	Fire Extinguisher	VIF	Verify in Field
FF&E	Cabinet Furniture, Fixtures and Equipment	WC	Water Closet
FRP	Fiber Reinforced Plastic	WD	Wood
FT	Feet or Foot	WH	Water Heater
Ga	Gage		
Galv	Galvanized		
Gyp bd	Gypsum Board		
HB	Hose Bib		
HC	Hollow Core		
HM	Hollow Metal		
HW	Hot Water		

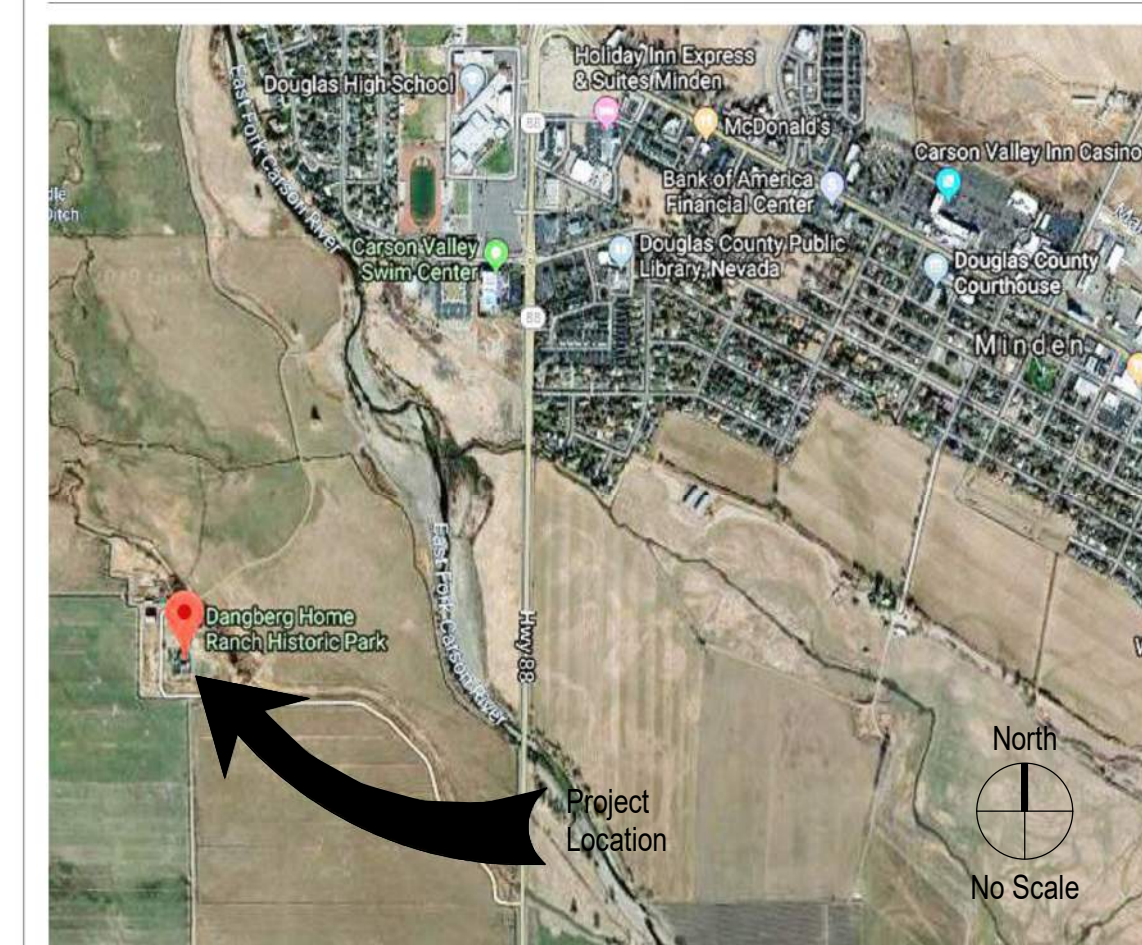
Symbols

	North	North Arrow
	Detail Number Sheet Number	Detail Indicator
		Detail Indicator
		Detail Indicator
		Detail Indicator
		Building Section Indicator
		Wall Section Indicator
		Exterior Elevation Indicators
	A B C D	Interior Elevation Indicators
		Grid Line
	Room name	Room Tag
		Door Tag
		Window Tag
		Wall or Partition Type
		Accessory Tag

Dangberg Ranch



Minden Vicinity Map



project

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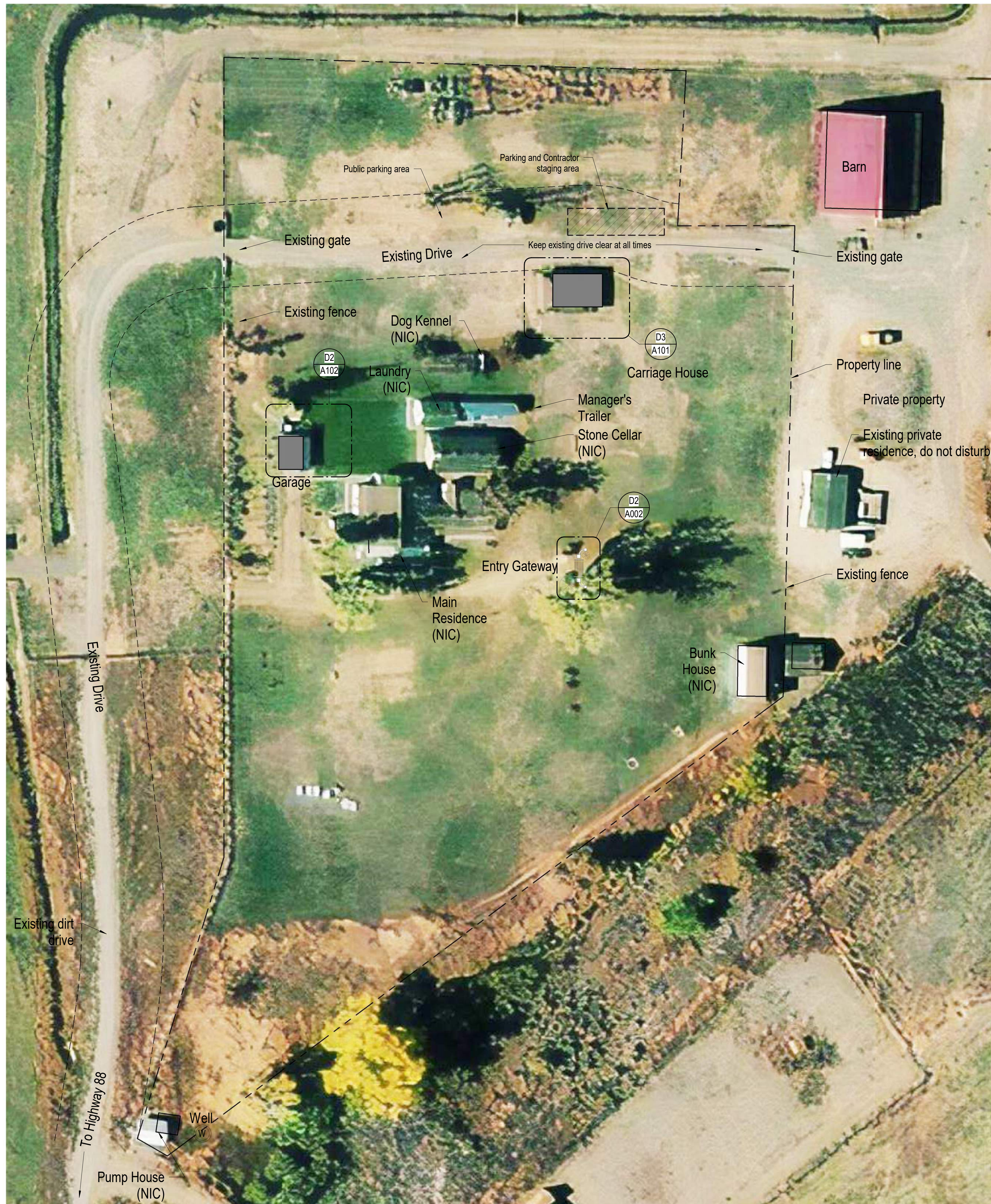
No.	Description	Date

drawn by: MLM
 reviewed by: PAC
 date: 2/10/2022
 project number: 21018
 drawing name:

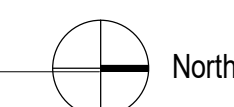
General Information and Project Data

sheet number

G100



D4 Architectural Site Plan
1" = 40'-0"



Site Plan Notes

1. The Overall Site Plan is for reference only and shows the existing conditions. Refer to plans, elevations and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of work.
2. Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
3. Refer to the Project Manual and other Drawings for additional information and requirements.
4. Refer to Electrical Drawings and Specifications for additional information, requirements, and improvements.
5. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area.
6. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times.
7. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance.
8. The general public will have access to the site and Dangberg Ranch exhibits during construction. It is the contractor's responsibility to secure each construction area and prevent conflicts with the general public.

Scope of Work for Each Structure

1. Gateway:
Gateway scope of work consists of exterior cleaning of the masonry monuments, replace and/or install new bricks, repointing of damaged mortar joints, form and place new mortar caps, reconstruct column mortar caps and mortar ornamentation, remove and re-set cattle guard pipes and patch cattle guard concrete surface. See drawings and specifications for additional scope of work.
2. Carriage House:
Carriage House scope of work consists of exterior cleaning, miscellaneous building repairs, prep and painting field/accents colors, clean, lubricate and tighten the garage door hardware, removal, repair and re-install the 4x wood threshold, removal, replacement and painting of the plaster ceiling, minor repairs at stair enclosure, removal of 4" of dirt floor and replace with filter fabric and angular gravel, new electrical surface and lighting to the garage portion, clean and refurbish existing electrical to be non-functional and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.
3. Garage:
Garage scope of work consists of exterior cleaning, miscellaneous building repairs, prep and painting field/accents colors, replacement of the corrugated roofing and flashing, lubricate and tighten the garage door hardware, remove and abandoned modern low voltage electrical wiring and devices, new electrical surface and lighting, clean and refurbish existing electrical to be non-functional, repair and painting of the plaster ceiling and repointing of isolated interior and exterior mortar joints. See drawings and specifications for additional scope of work.

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Architectural Site
Plan (For
Reference Only)

sheet number

A001

Entry Gateway Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition and alteration required in order to perform the work.
- The Contractor shall maintain a clean and organized environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting, and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- The following preservation briefs shall be used and followed for the execution of work at the Entry Gateway:
 - Cleaning and Water Repellent Treatments:**
Carefully follow recommended procedures in this brief in washing the entry gateway from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 - Repointing Mortar Joints:**
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repair in joints to match current tooling.
- Refer to Project Manual and Specifications for additional information and requirements.
- Refer to photos of existing conditions on sheet A003 and A004.
- Coordinate with Dangberg Ranch Curator for quantity and location of existing brick that may be re-used for masonry replacement.
- See Structural drawings and specifications.

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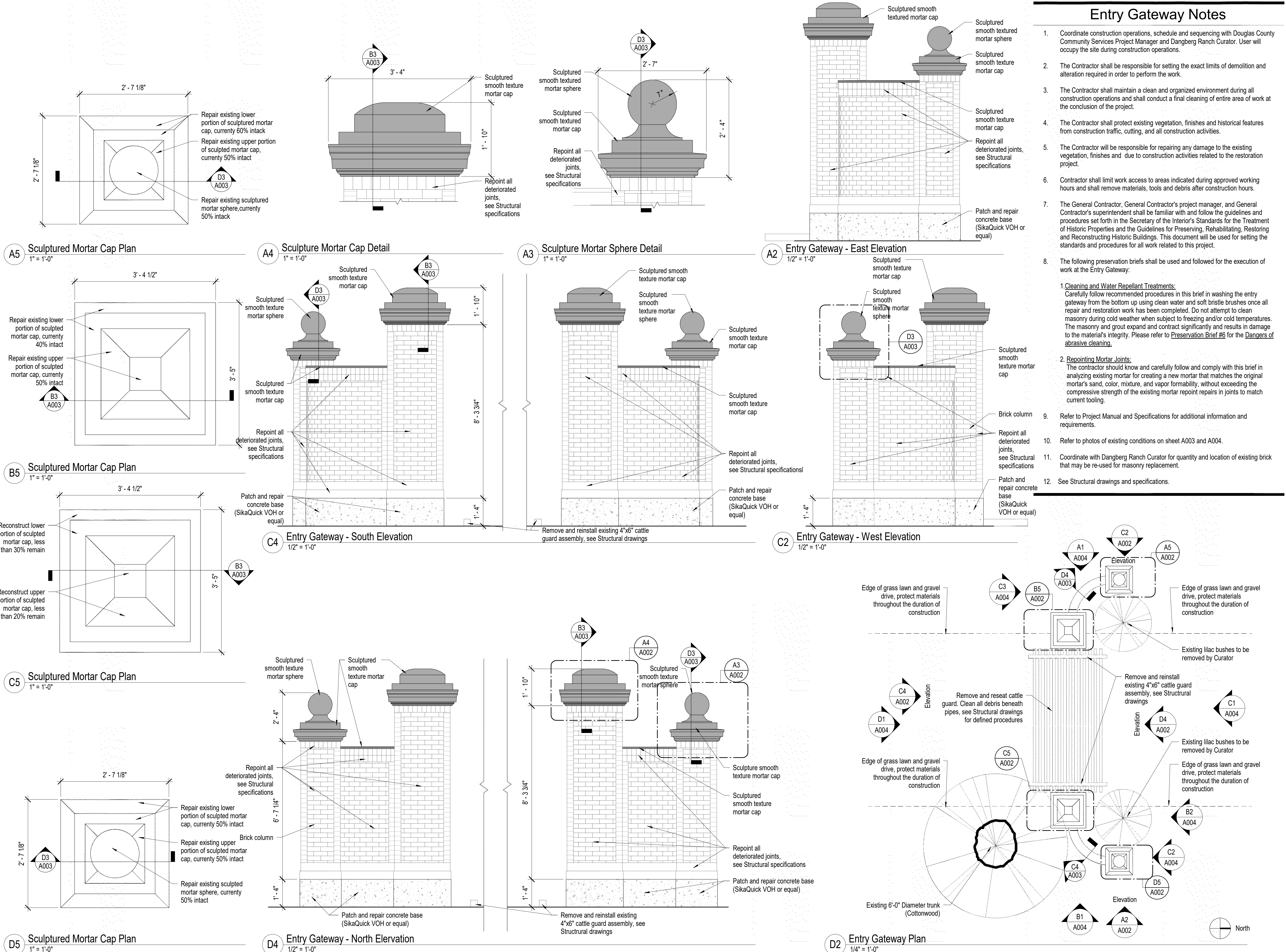
No.	Description	Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

**Entry Gateway
Floor Plan**

sheet number

A002



Entry Gateway Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition and alteration required in order to perform the work.
3. The Contractor shall maintain a clean and organized environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting, and all construction activities.
5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
8. The following preservation briefs shall be used and followed for the execution of work at the Entry Gateway:
 1. **Cleaning and Water Repellant Treatments:**
Carefully follow recommended procedures in this brief in washing the entry gateway from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to **Preservation Brief #6** for the **Dangers of abrasive cleaning.**
 2. **Repointing Mortar Joints:**
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repair repairs in joints to match current tooling.
9. Refer to Project Manual and Specifications for additional information and requirements.
10. Refer to photos of existing conditions on sheet A003 and A004.
11. Coordinate with Dangberg Ranch Curator for quantity and location of existing brick that may be re-used for masonry replacement.
12. See Structural drawings and specifications.

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**Mortar Column
Cap Details**

sheet number

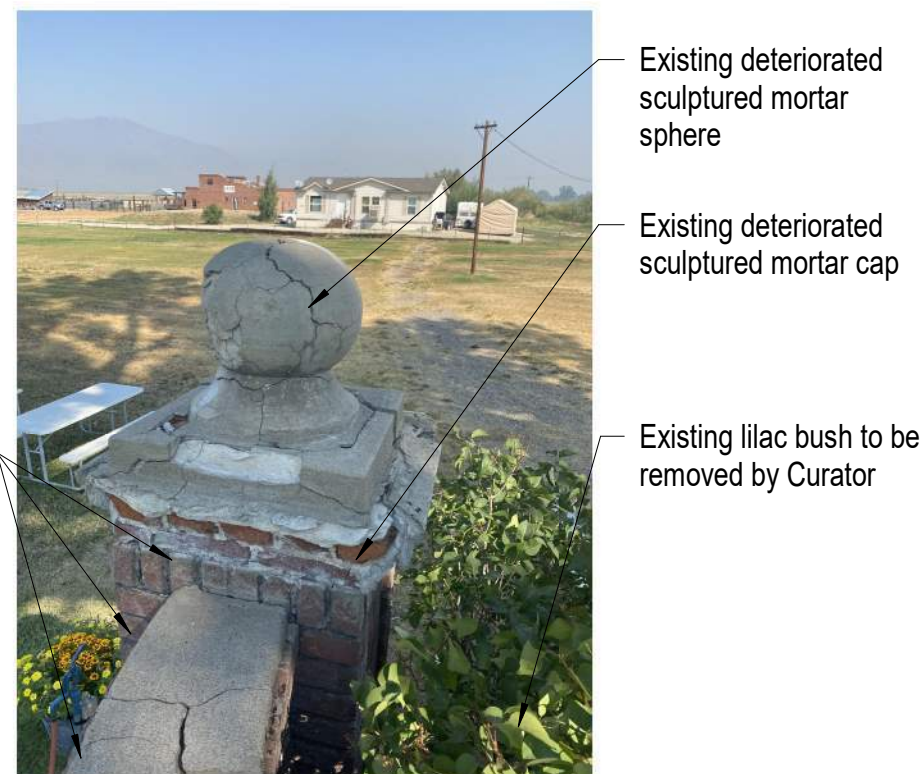
A003



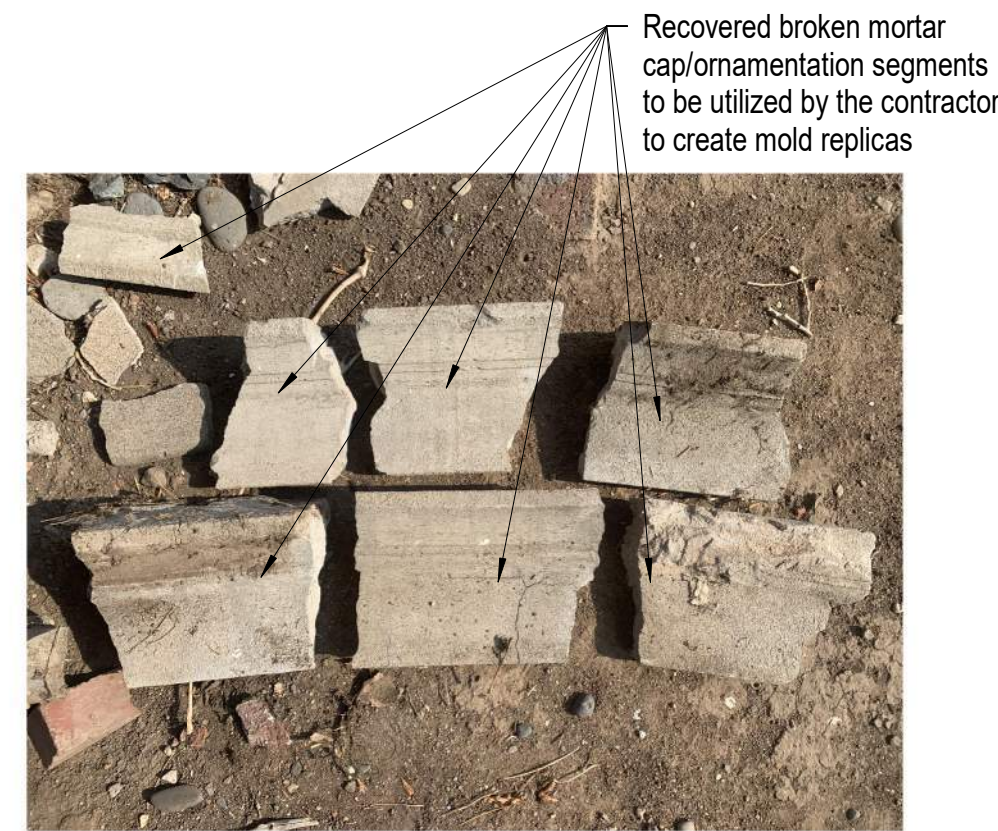
A5 Photo of Existing Conditions (Entry Gateway)
Not to Scale



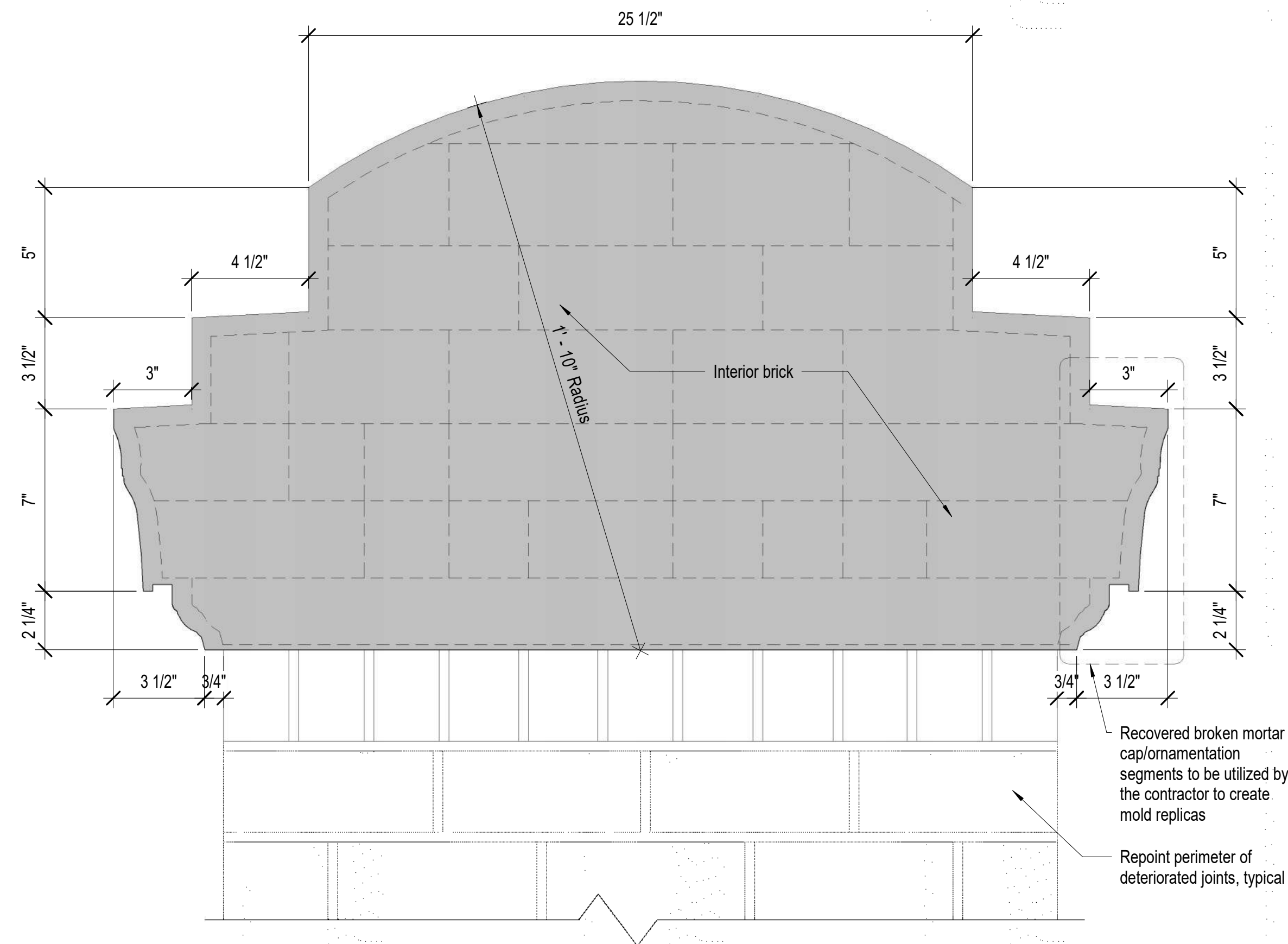
A4 Photo of Existing Conditions (Entry Gateway)
Not to Scale



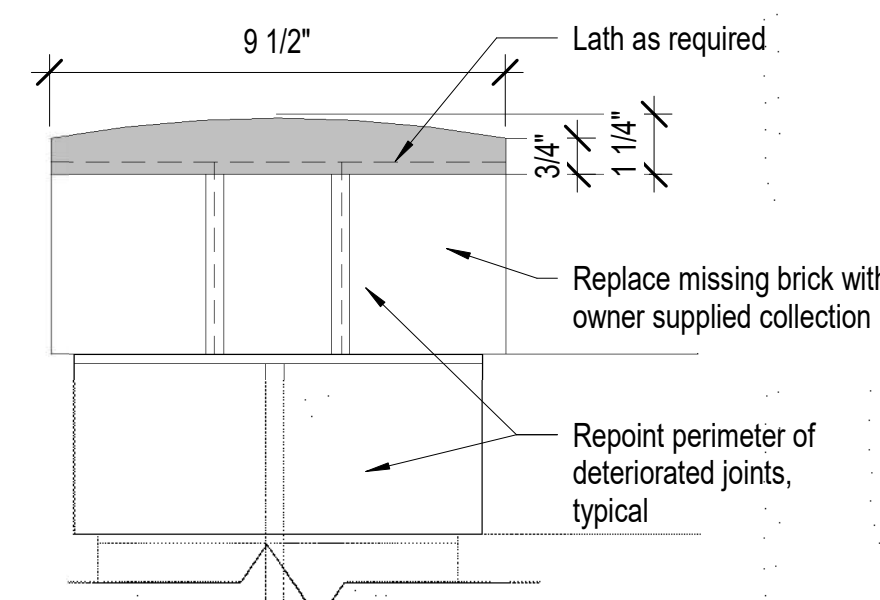
B5 Photo of Existing Conditions (Entry Gateway)
Not to Scale



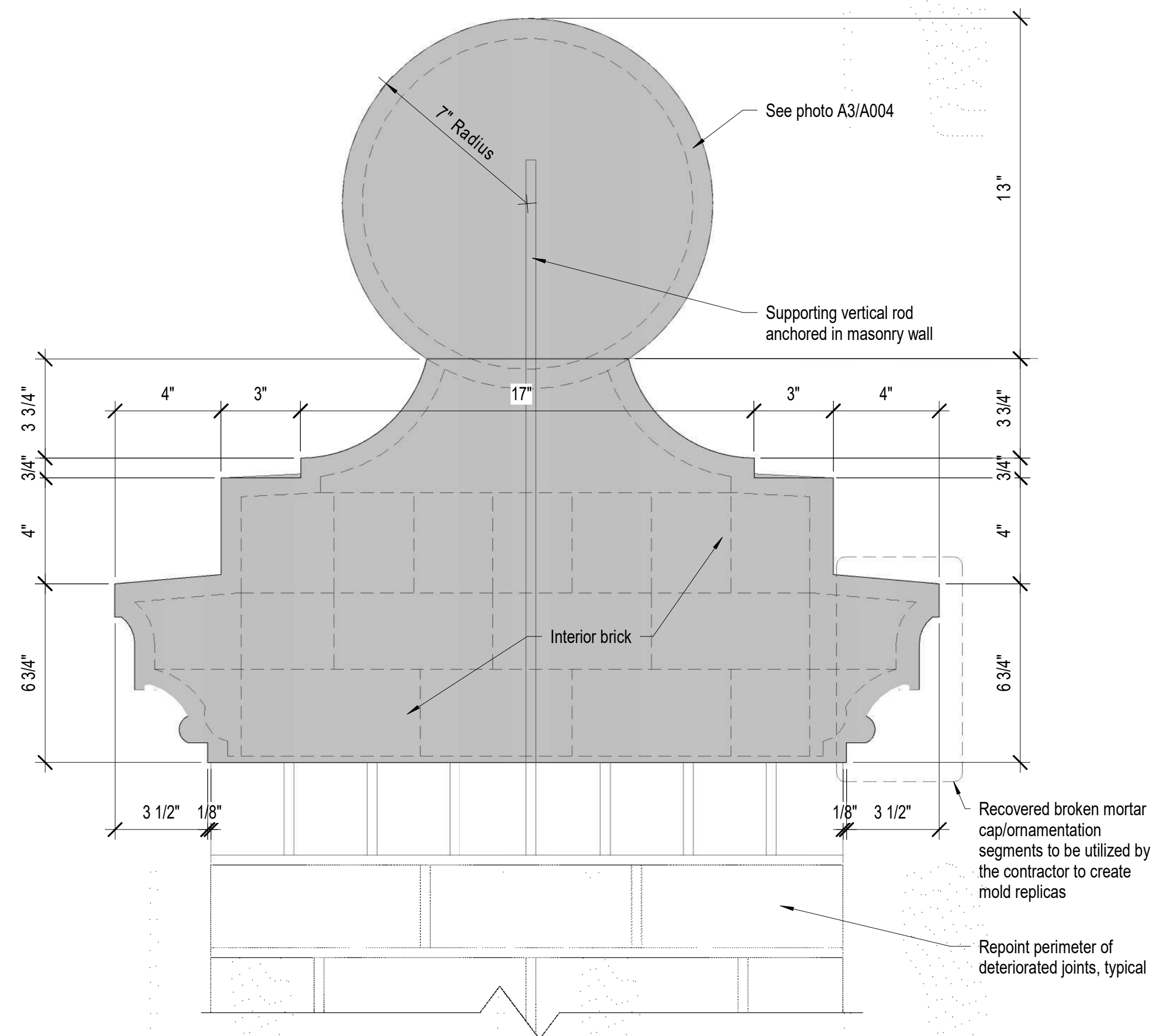
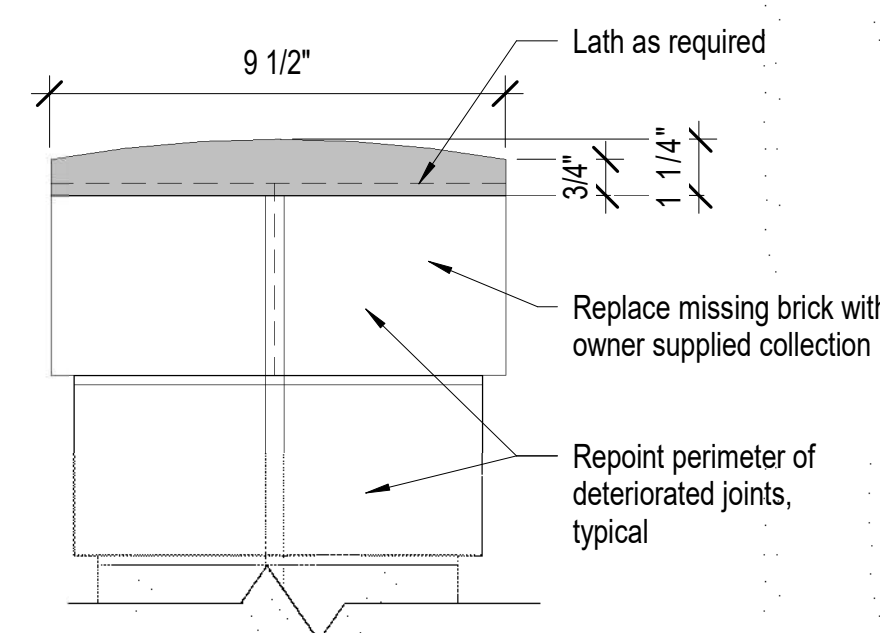
B4 Photo of Existing Conditions (Entry Gateway)
Not to Scale



C5 Photo of Existing Conditions (Entry Gateway)
Not to Scale



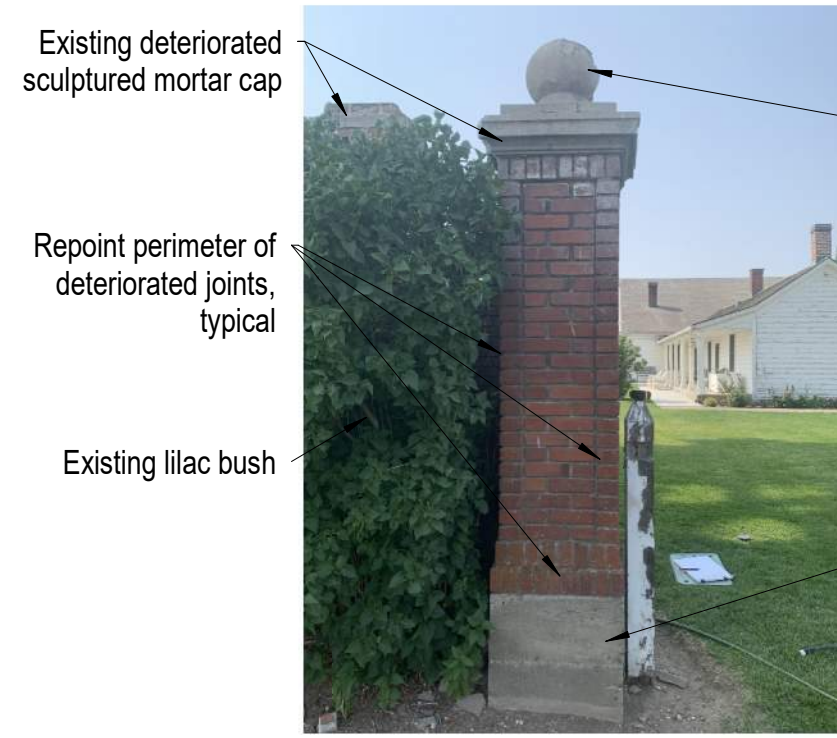
D5 Photo of Existing Conditions (Entry Gateway)
Not to Scale





Portion of existing brick to utilize for rebuilding the Gateway Entry coordinate with Dangberg Ranch Curator for quantity and location of existing brick

A5 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical
Existing lilac bush
Existing deteriorated sculptured mortar sphere
Existing concrete base
Existing deteriorated sculptured mortar cap

A4 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap

A3 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical

A2 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Repoint perimeter of deteriorated joints, typical
Existing lilac bush to be removed by Curator
Existing deteriorated sculptured mortar cap
Existing 6' diameter cotton wood tree
Patch and repair concrete base (SikaQuick VOH or equal)

A1 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Existing lilac bush
Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap
Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical

B5 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Existing lilac bush to be removed by Curator
Existing deteriorated sculptured mortar cap
Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical

B4 Photo of Existing Conditions
Not to Scale



Remove and reinstall existing 4"x6" cattle guard assembly, see Structural drawings
Remove and reseal cattle guard. Clean all debris beneath pipes, see Structural drawings for defined procedures

B3 Photo of Existing Conditions (Entry Gateway)
Not to Scale



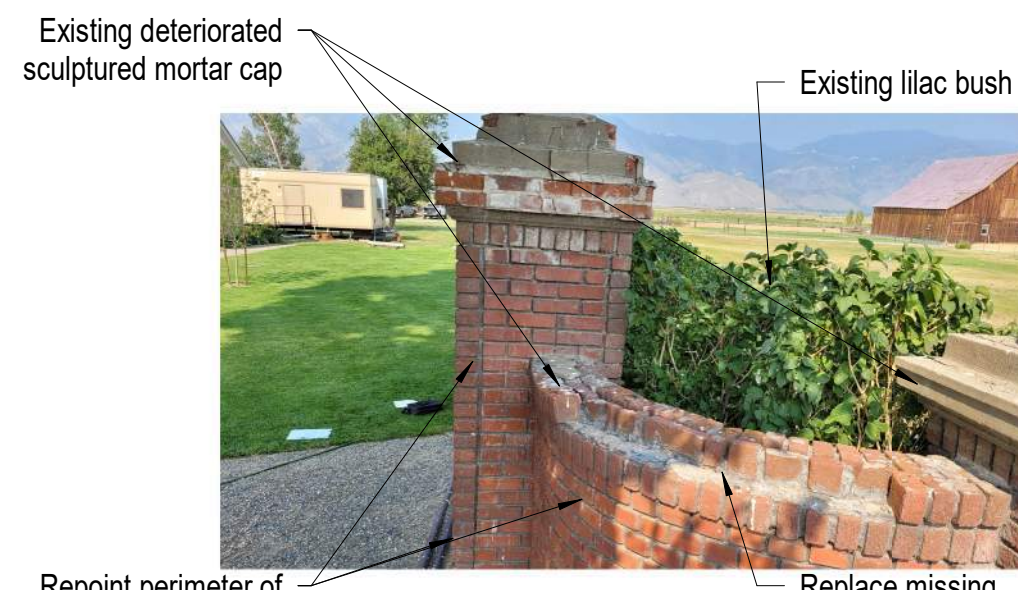
Existing 6' diameter cotton wood tree
Repoint perimeter of deteriorated joints, typical
Replace missing brick with owner supplied collection
Existing deteriorated sculptured mortar cap

B2 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical
Existing deteriorated sculptured mortar sphere
Patch and repair concrete base (SikaQuick VOH or equal)

B1 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Existing lilac bush
Repoint perimeter of deteriorated joints, typical
Replace missing brick with owner supplied collection

C5 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical

C4 Photo of Existing Conditions
Not to Scale



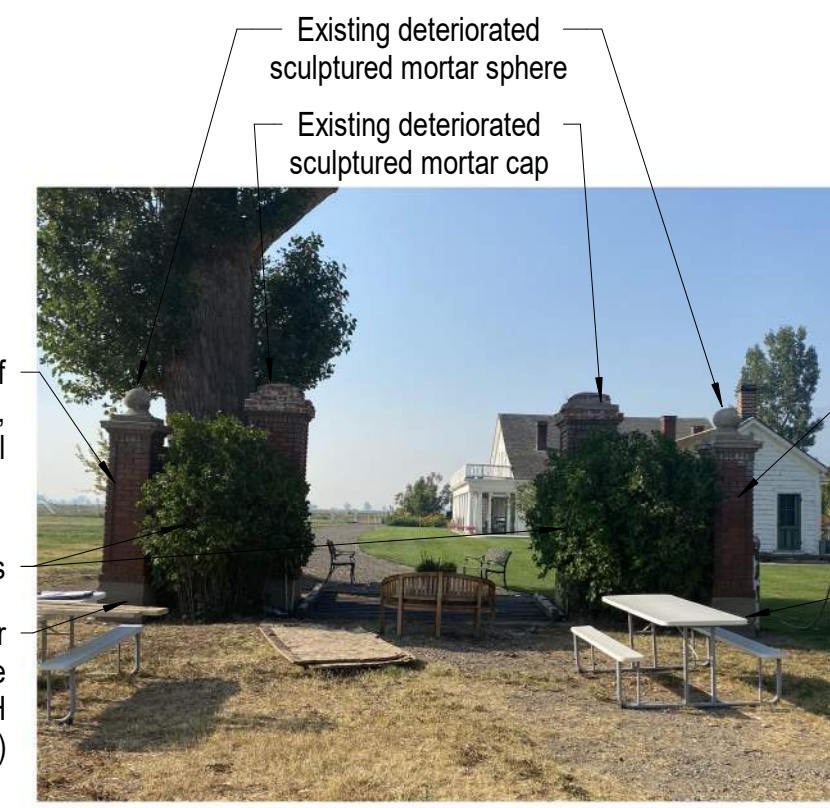
Remove and reinstall existing 4"x6" cattle guard assembly, see Structural drawings
Remove and reseal cattle guard. Clean all debris beneath pipes, see Structural drawings for defined procedures

1 Photo of Existing Conditions (Entry Gateway)
Not to Scale



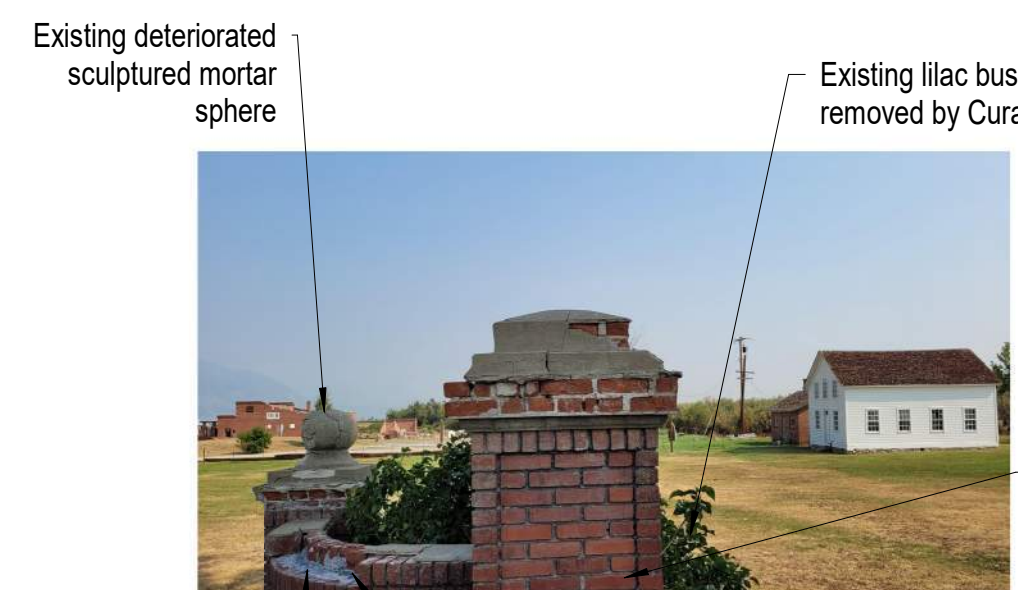
Existing deteriorated sculptured mortar cap
Replace missing brick with owner supplied collection
Repoint perimeter of deteriorated joints, typical

C2 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical
Existing lilac bushes
Patch and repair concrete base (SikaQuick VOH or equal)
Repoint perimeter of deteriorated joints, typical
Patch and repair concrete base (SikaQuick VOH or equal)

C1 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Existing lilac bush to be removed by Curator
Repoint perimeter of deteriorated joints, typical
Replace missing brick
Existing deteriorated sculptured mortar cap

D5 Photo of Existing Conditions
Not to Scale



Repoint perimeter of deteriorated joints, typical
Repoint perimeter of deteriorated joints, typical

D4 Photo of Existing Conditions
Not to Scale



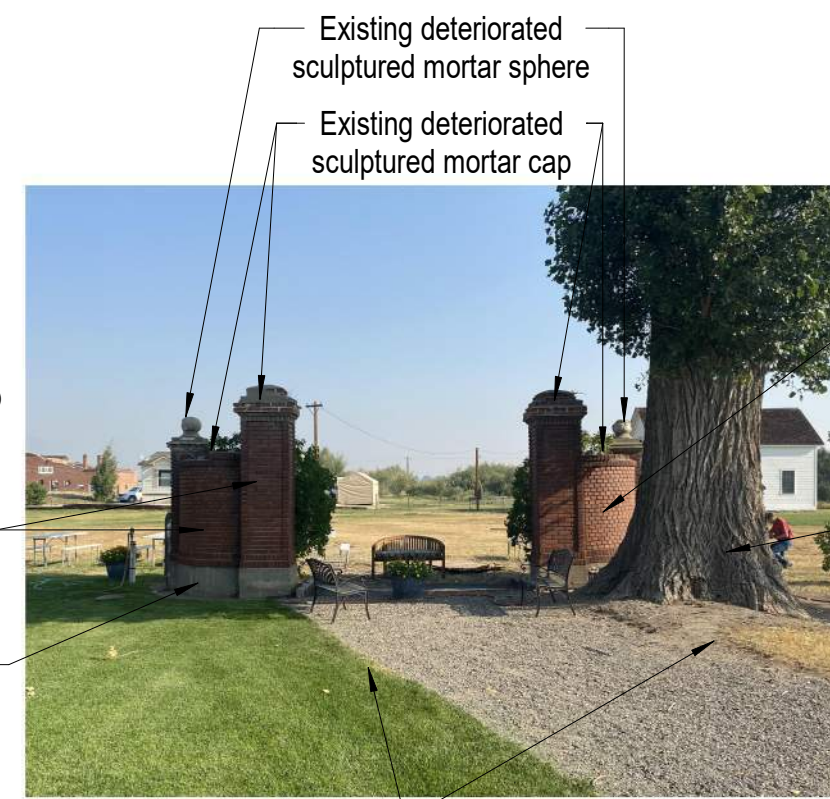
Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap
Replace missing brick with owner supplied collection
Repoint perimeter of deteriorated joints, typical

C3 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical

D2 Photo of Existing Conditions
Not to Scale



Existing deteriorated sculptured mortar sphere
Existing deteriorated sculptured mortar cap
Repoint perimeter of deteriorated joints, typical
Existing 6' diameter cotton wood tree
Patch and repair concrete base (SikaQuick VOH or equal)
Edge of grass lawn and gravel drive, protect materials throughout the duration of construction

D1 Photo of Existing Conditions
Not to Scale

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Dangberg Home Ranch Restoration Projects
Dangberg Home Ranch
1450 NV-88
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revisions

No.	Description	Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

Gateway - Photos of Existing Condition

sheet number

A004

Carriage House Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
- The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- Refer to Project Manual and Specifications for additional information and requirements.
- See Structural drawings and specifications for additional information and requirements.
- See Electrical drawings and specifications for additional information and requirements.
- The following preservation briefs shall be used and followed for the execution of work at the Carriage House:
 - Cleaning and Water Repellent Treatments:**
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 - Repointing Mortar Joints:**
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repair repairs in joints to match current tooling.
 - The Repair of Historic Wooden Windows:**
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
 - Repairing Historic Flat Plaster Walls and Ceilings:**
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

12. See sheet A301 and A302 for the Carriage House exterior elevations.

13. See sheet A501 for the Carriage House reflected ceiling plan.

14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.

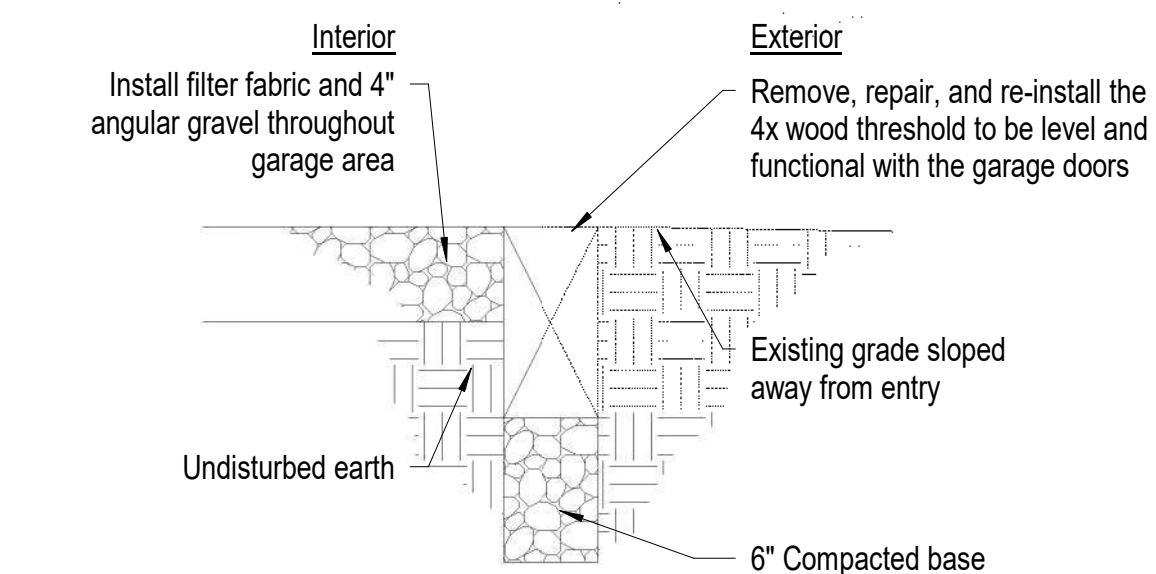
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

28. **Painting Historic Interiors:**
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

21. **Repairing Historic Flat Plaster Walls and Ceilings:**
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. **Painting Historic Interiors:**
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- See sheet A301 and A302 for the Carriage House exterior elevations.
- See sheet A501 for the Carriage House reflected ceiling plan.
- Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.



D1 Threshold Detail
1 1/2" = 1'-0"

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revisions

No.	Description	Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

**Carriage House
Floor Plan**

sheet number

A101



A5 Photo of Existing Conditions (Carriage House)
Not to Scale



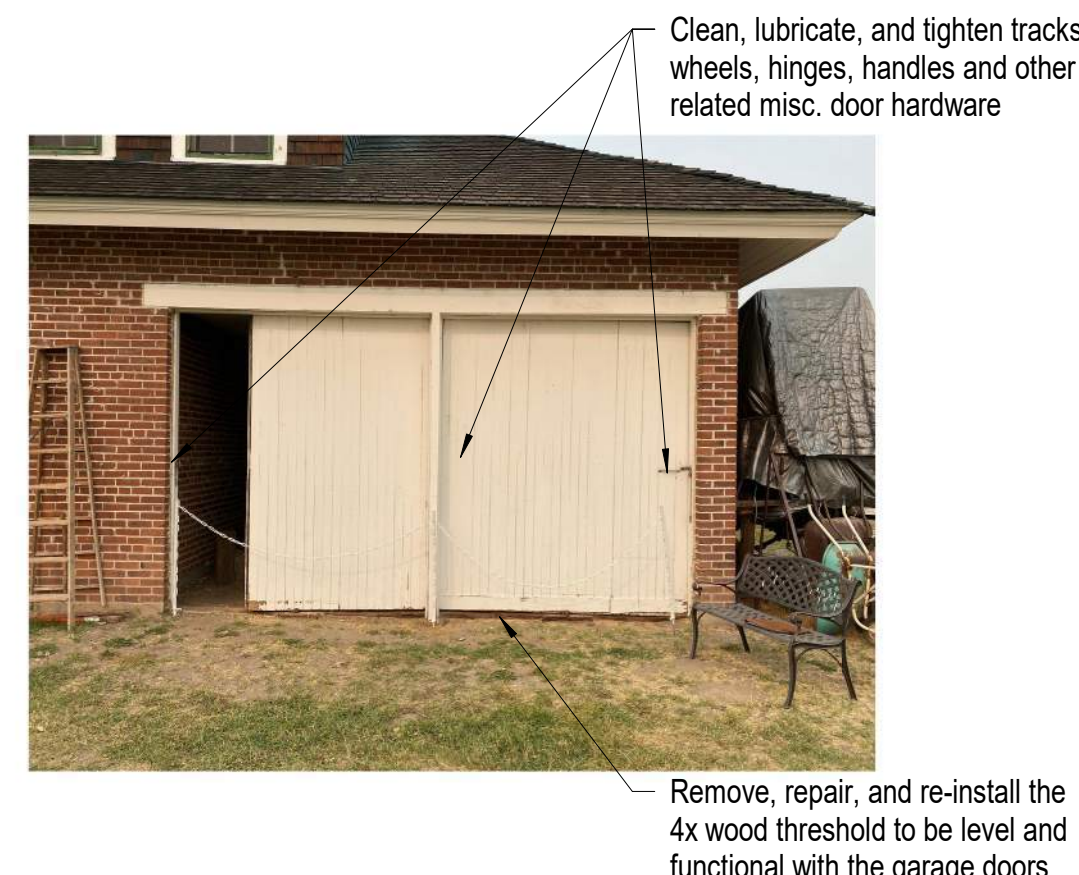
A4 Photo of Existing Conditions (Carriage House)
Not to Scale



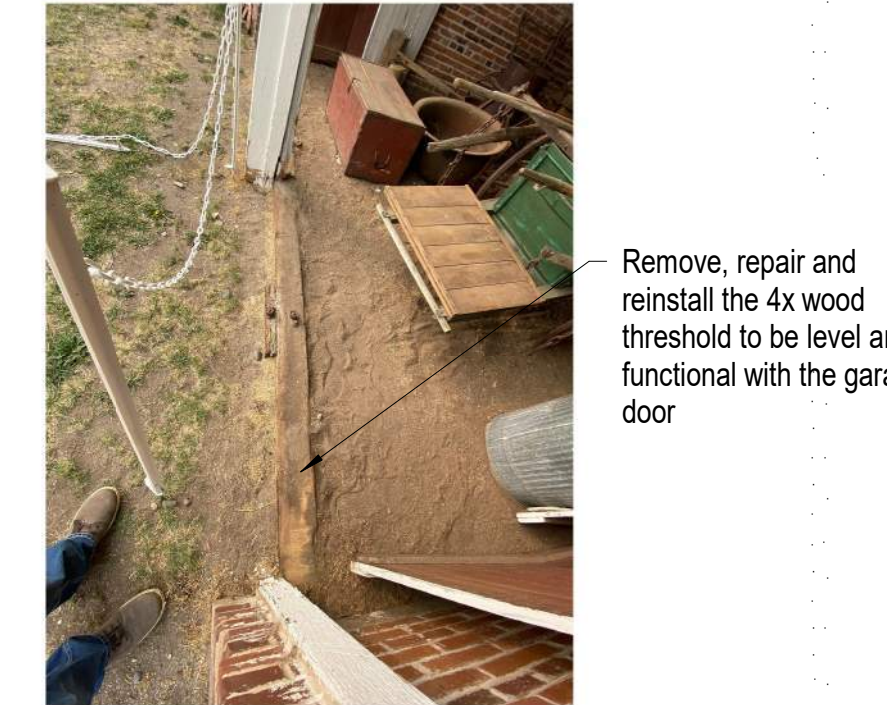
A3 Photo of Existing Conditions (Carriage House)
Not to Scale



B5 Photo of Existing Conditions (Carriage House)
Not to Scale



B4 Photo of Existing Conditions (Carriage House)
Not to Scale



B3 Photo of Existing Conditions (Carriage House)
Not to Scale



C5 Photo of Existing Conditions (Carriage House)
Not to Scale



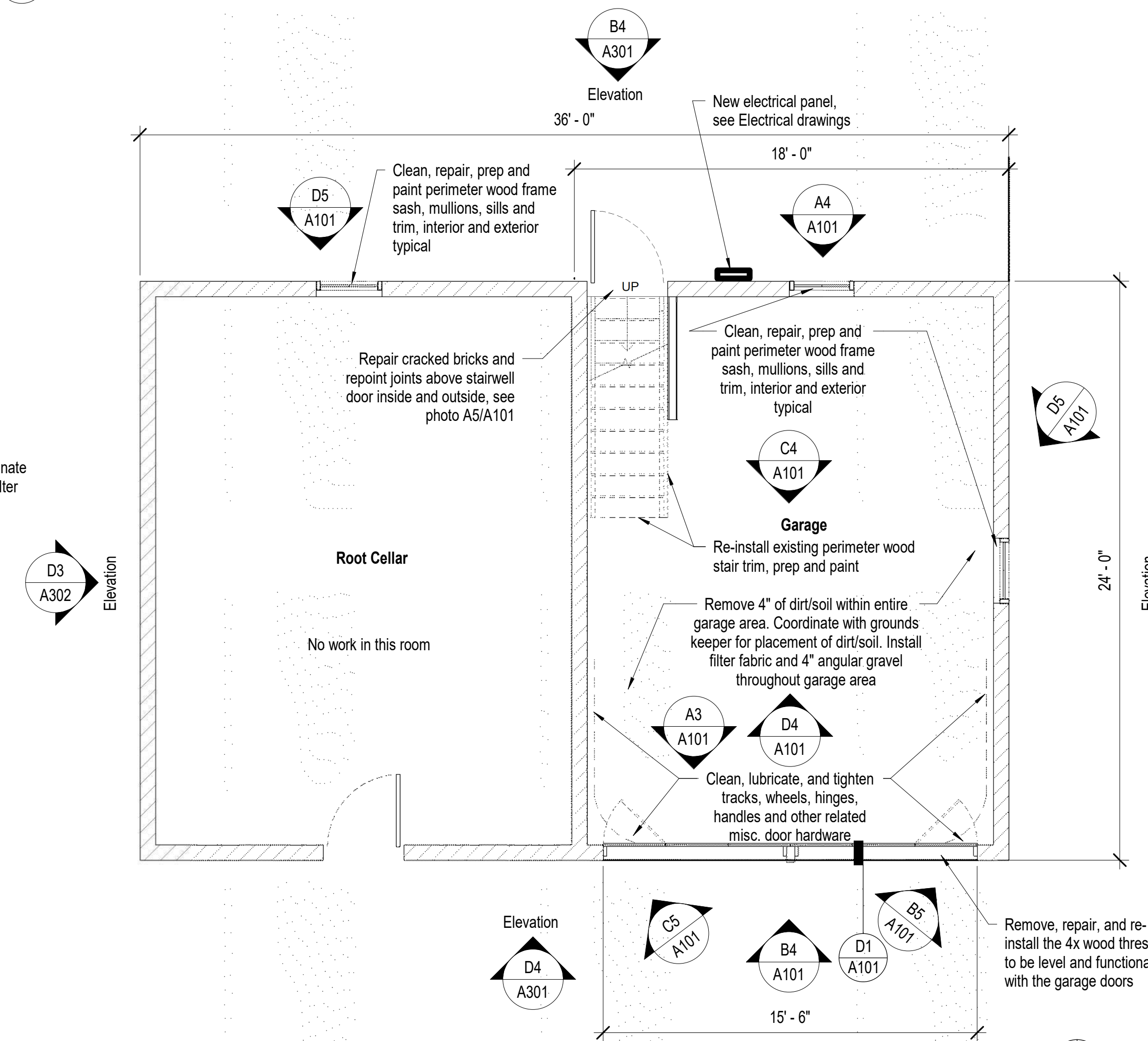
C4 Photo of Existing Conditions (Carriage House)
Not to Scale



D5 Photo of Existing Conditions (Carriage House)
Not to Scale



D4 Photo of Existing Conditions (Carriage House)
Not to Scale



D3 Carriage House Floor Plan
1/4" = 1'-0"

D1 Threshold Detail
1 1/2" = 1'-0"



A5 Photo of Existing Conditions (Garage)
Not to Scale



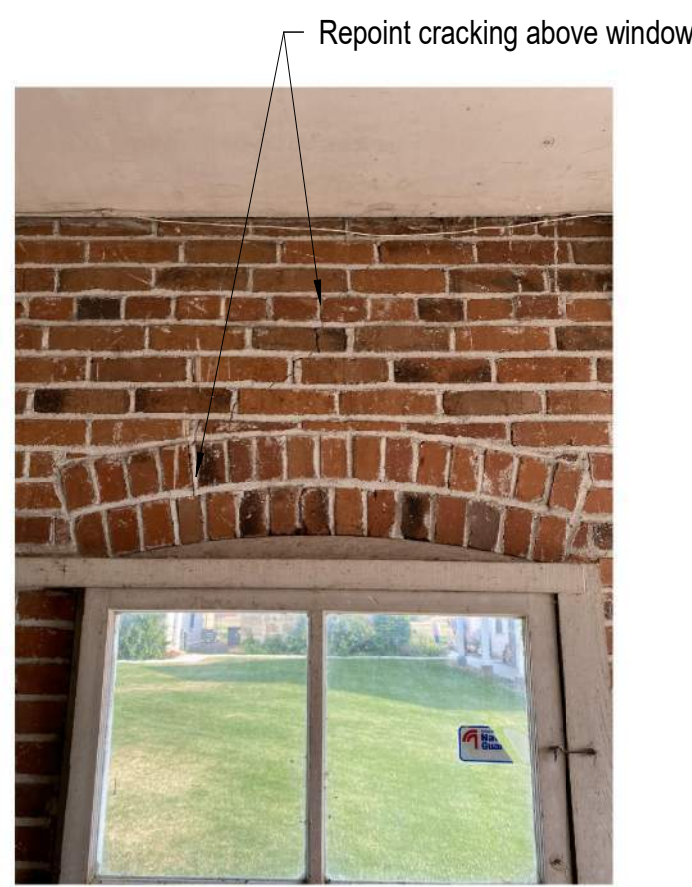
A4 Photo of Existing Conditions (Garage)
Not to Scale



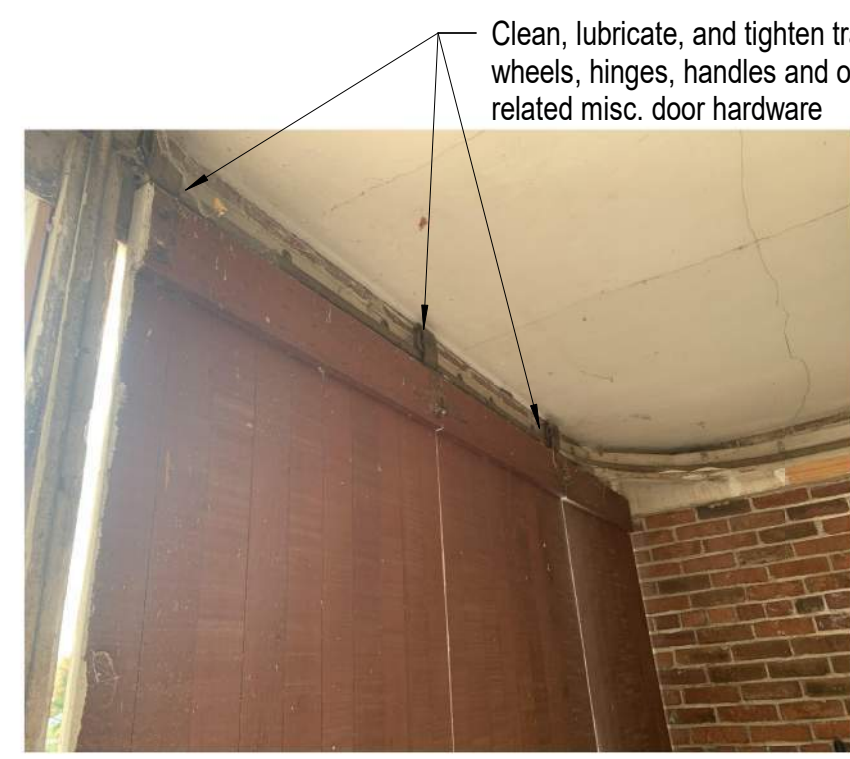
A3 Photo of Existing Conditions (Garage)
Not to Scale



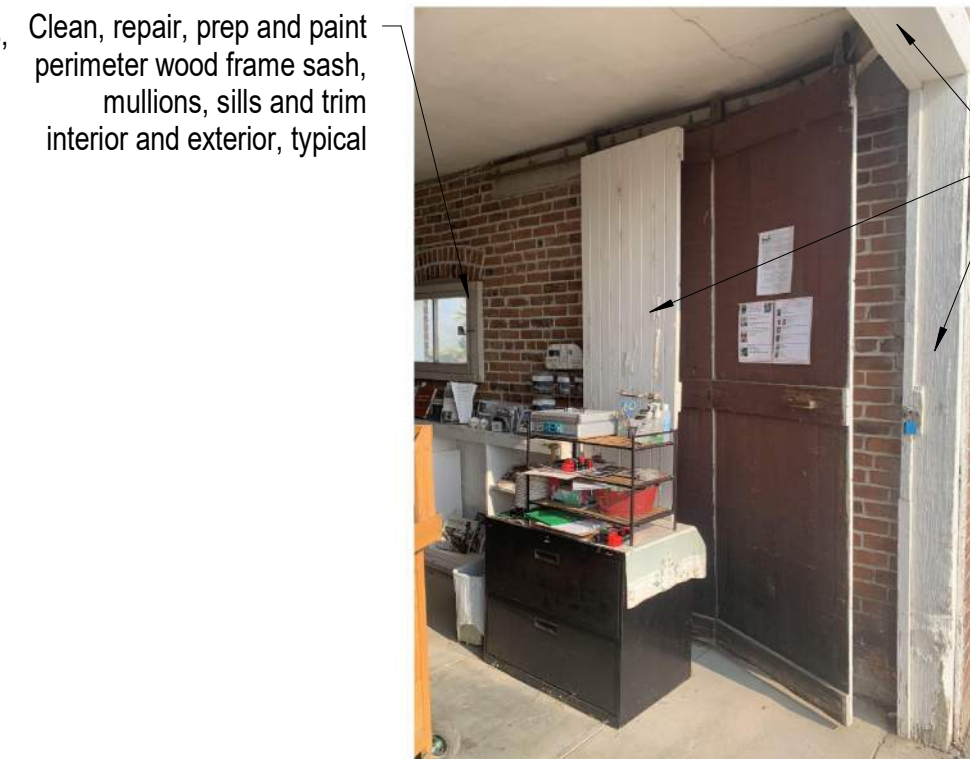
A2 Photo of Existing Conditions
Not to Scale



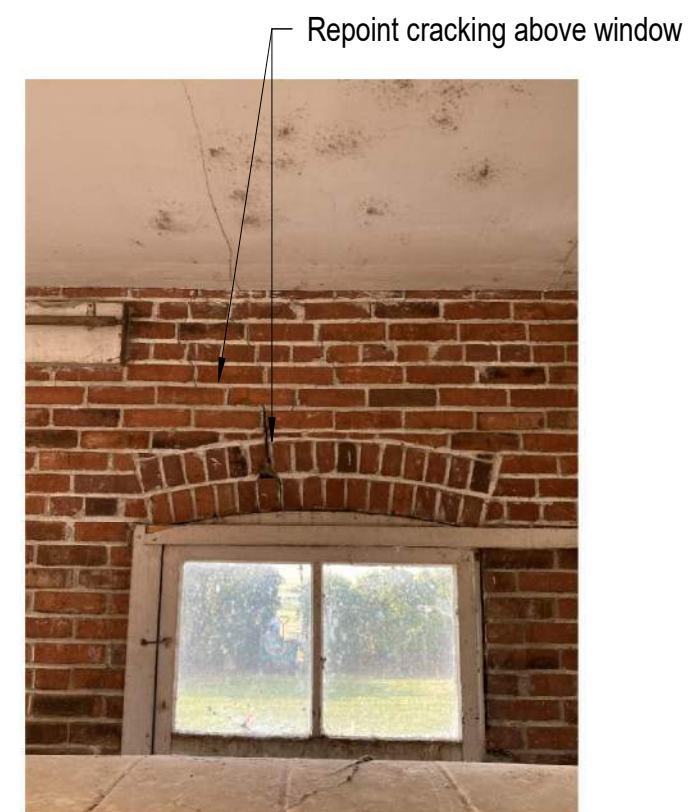
B5 Photo of Existing Conditions (Garage)
Not to Scale



B4 Photo of Existing Conditions (Garage)
Not to Scale



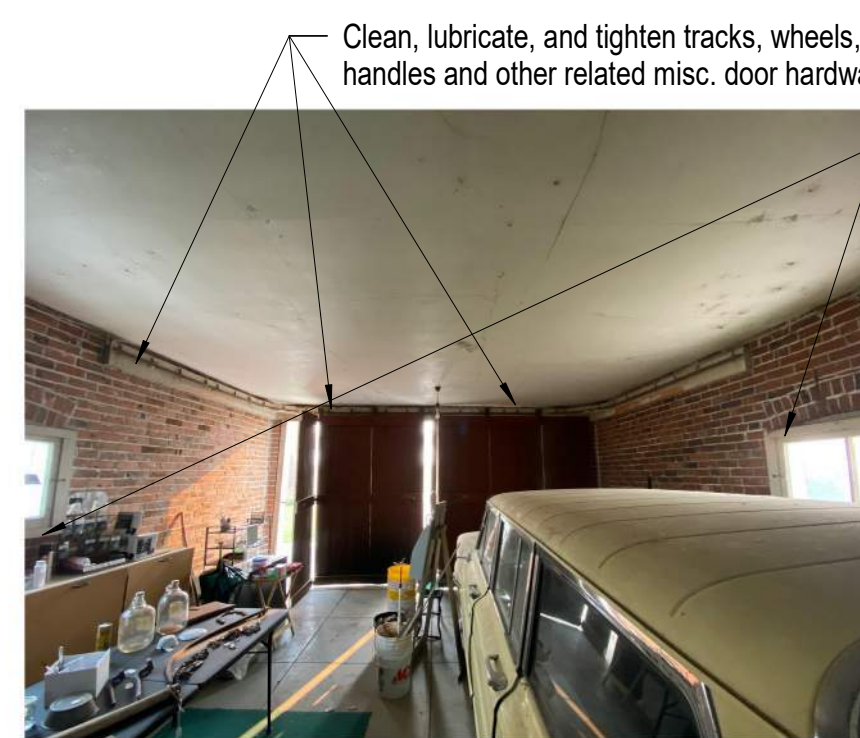
B3 Photo of Existing Conditions (Garage)
Not to Scale



C5 Photo of Existing Conditions (Garage)
Not to Scale



C4 Photo of Existing Conditions (Garage)
Not to Scale



C3 Photo of Existing Conditions (Garage)
Not to Scale



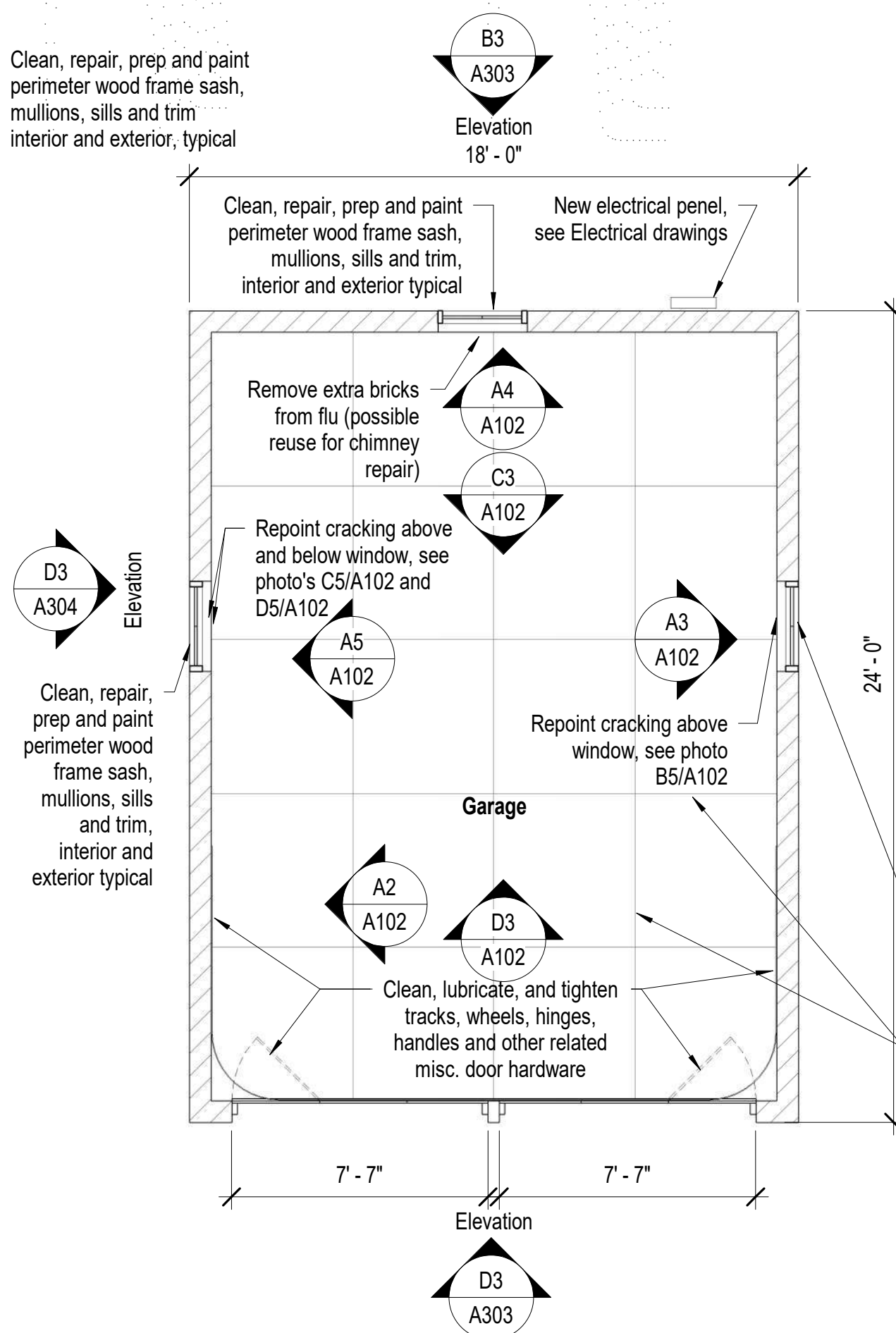
D5 Photo of Existing Conditions (Garage)
Not to Scale



D4 Photo of Existing Conditions (Garage)
Not to Scale



D3 Photo of Existing Conditions (Garage)
Not to Scale



D2 Garage Floor Plan
1/4" = 1'-0"

Garage Notes

- Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
- The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
- The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
- The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
- Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
- The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
- Refer to Project Manual and Specifications for additional information and requirements.
- See Structural drawings and specifications for additional information and requirements.
- See Electrical drawings and specifications for additional information and requirements.
- The following preservation briefs shall be used and followed for the execution of work at the Garage:
 - Cleaning and Water Repellent Treatments:**
Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 - Repointing Mortar Joints:**
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.
 - The Repair of Historic Wooden Windows:**
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
 - Repairing Historic Flat Plaster Walls and Ceilings:**
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.
 - Painting Historic Interiors:**
The contractor to use this brief as a guideline in preparing the interiors for repainting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

- See sheet A303 and A304 for the Garage exterior elevations.
- See sheet A502 for the Garage reflected ceiling plan.
- Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
- See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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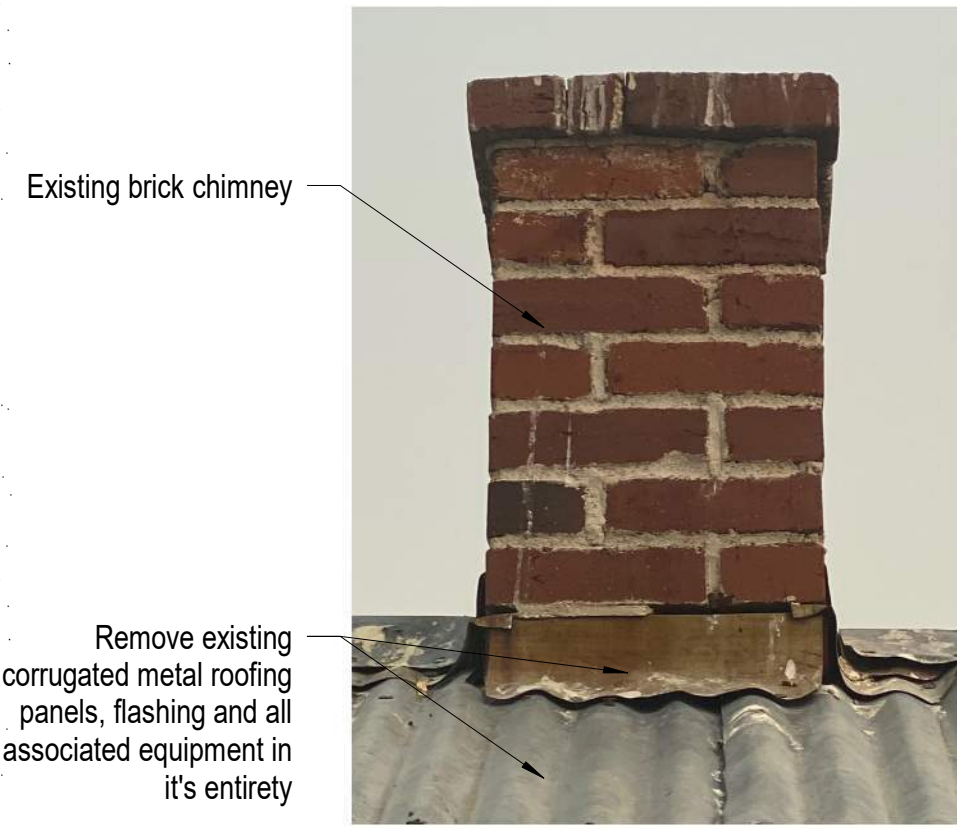
No.	Description	Date

drawn by MLM
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date 2/10/2022
project number 21018
drawing name

Garage Floor Plan

sheet number

A102



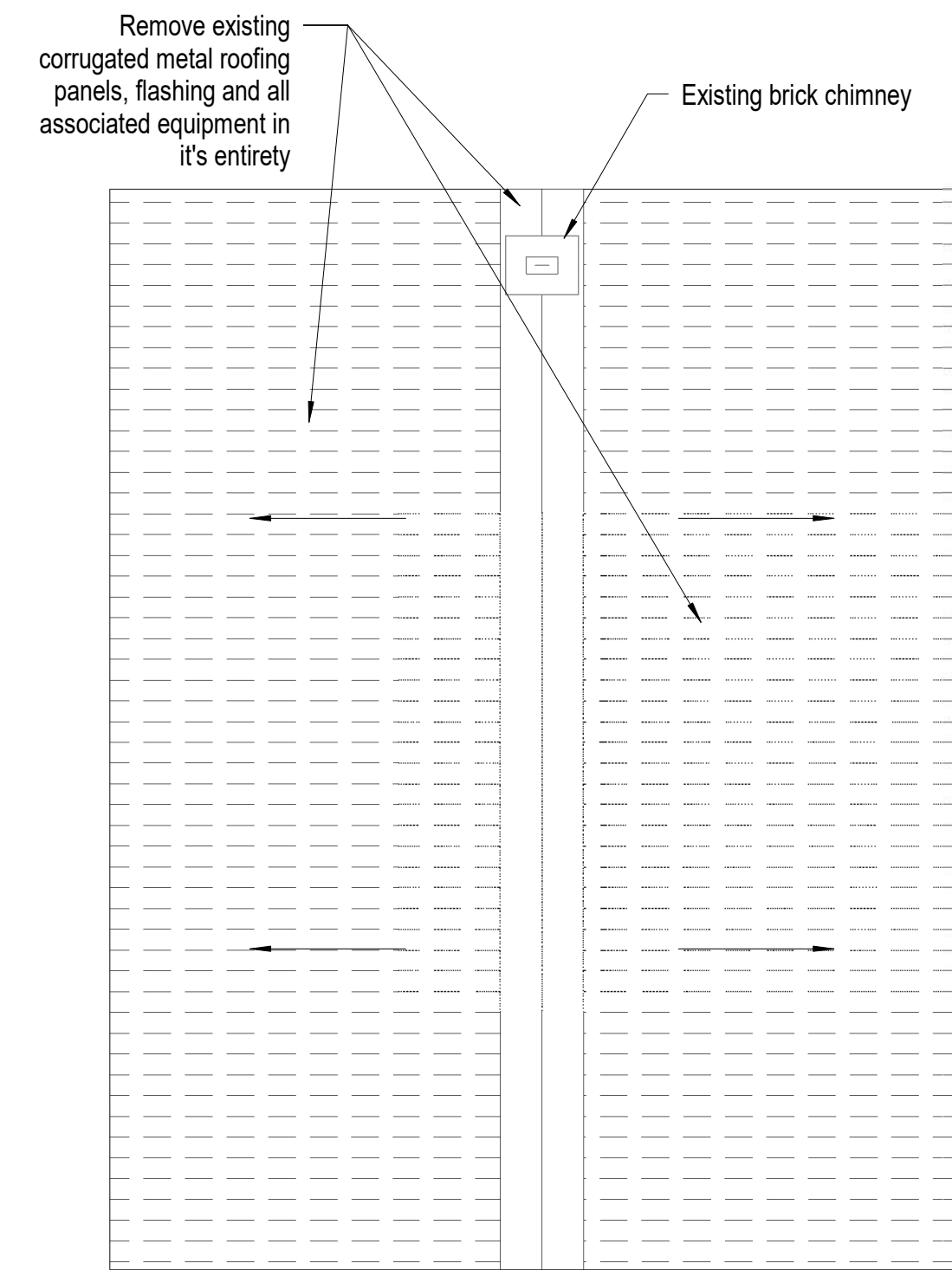
A4 Photo of Existing Conditions (Garage)
12" = 1'-0"



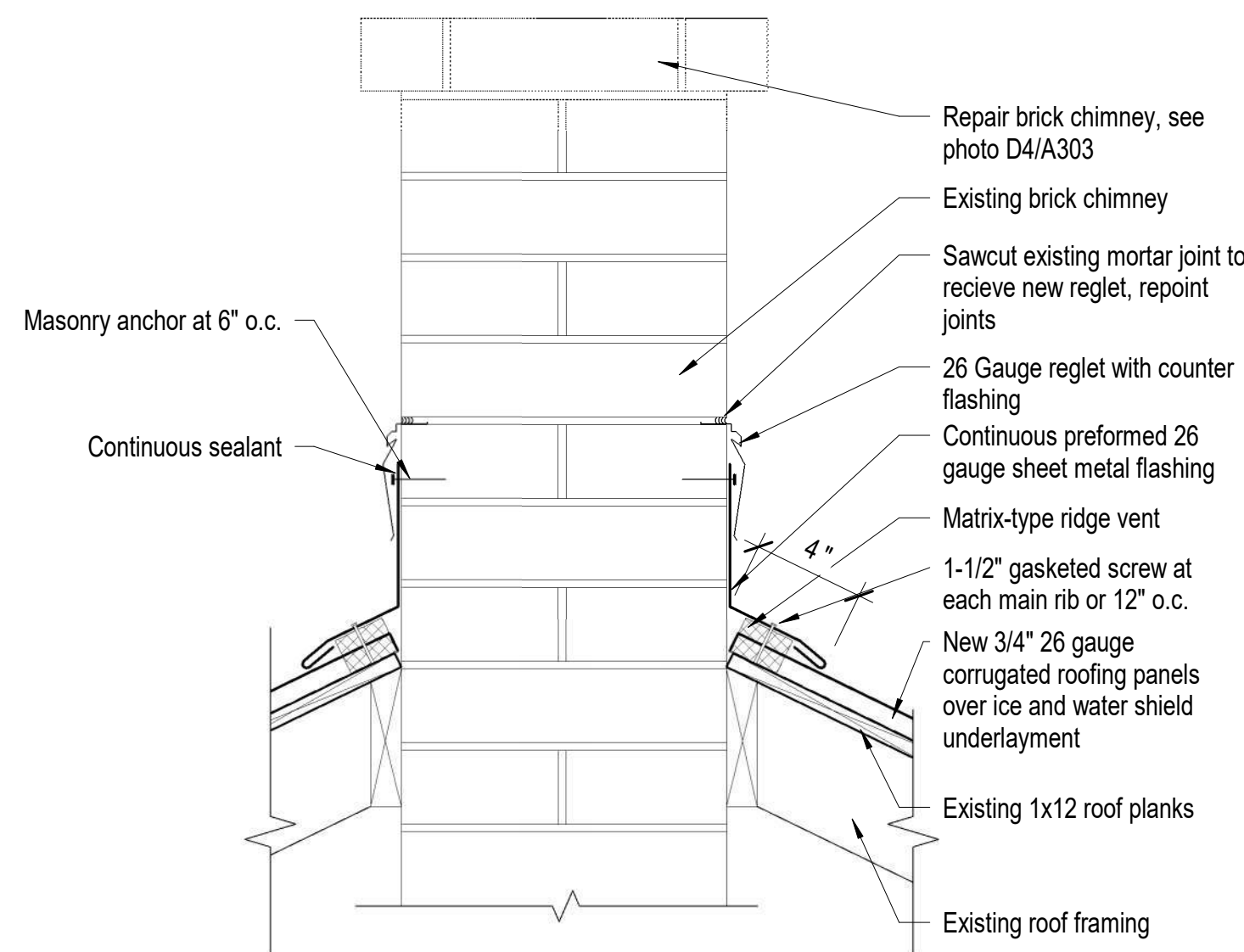
A3 Photo of Existing Conditions (Garage)
12" = 1'-0"



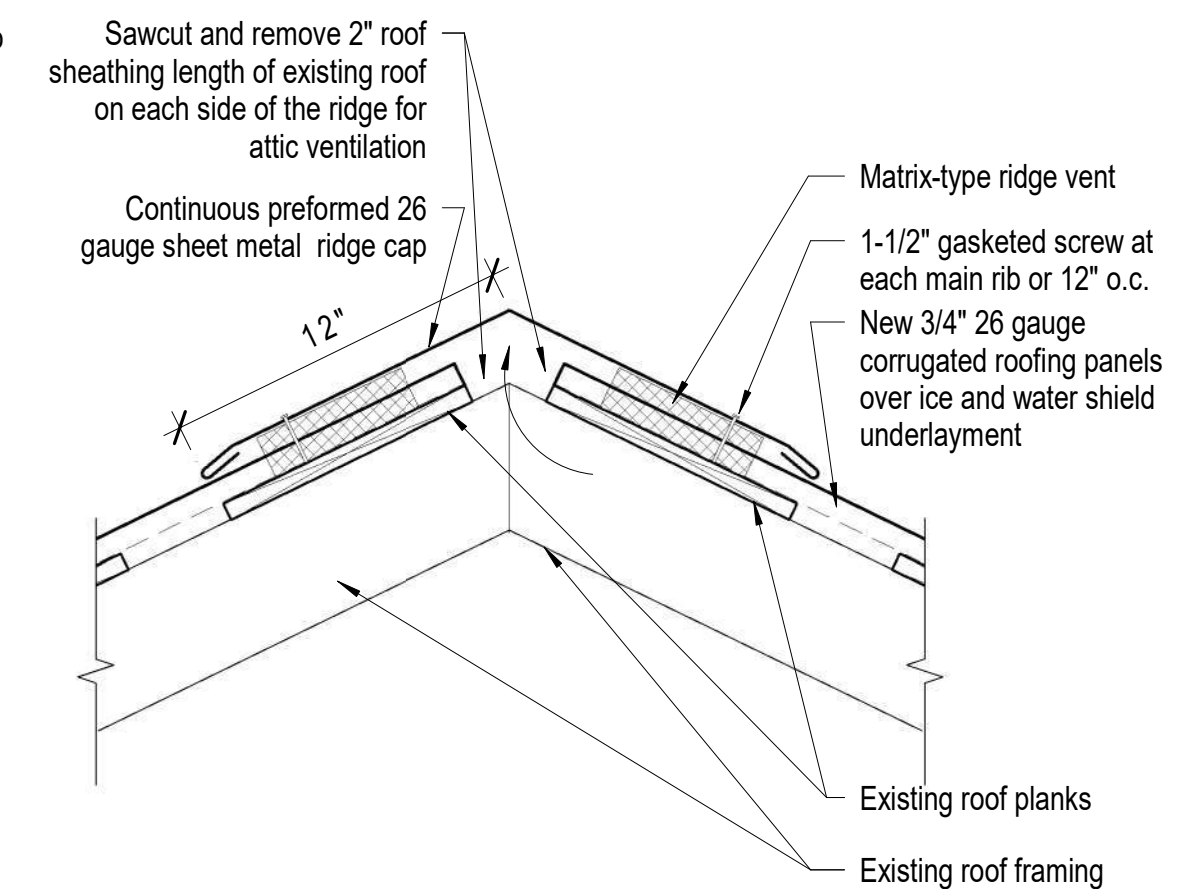
B3 Photo of Existing Conditions (Garage)
12" = 1'-0"



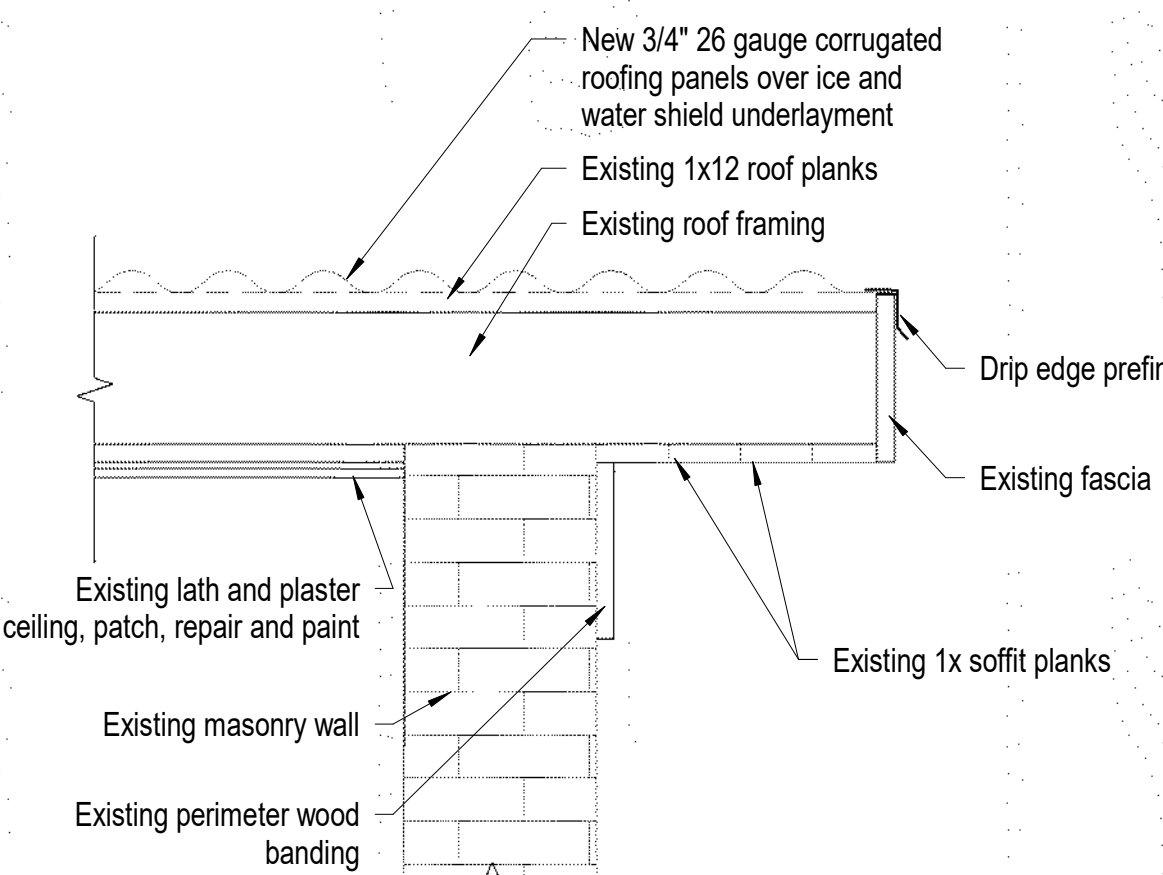
B2 Garage Demolition Roof Plan
1/4" = 1'-0"



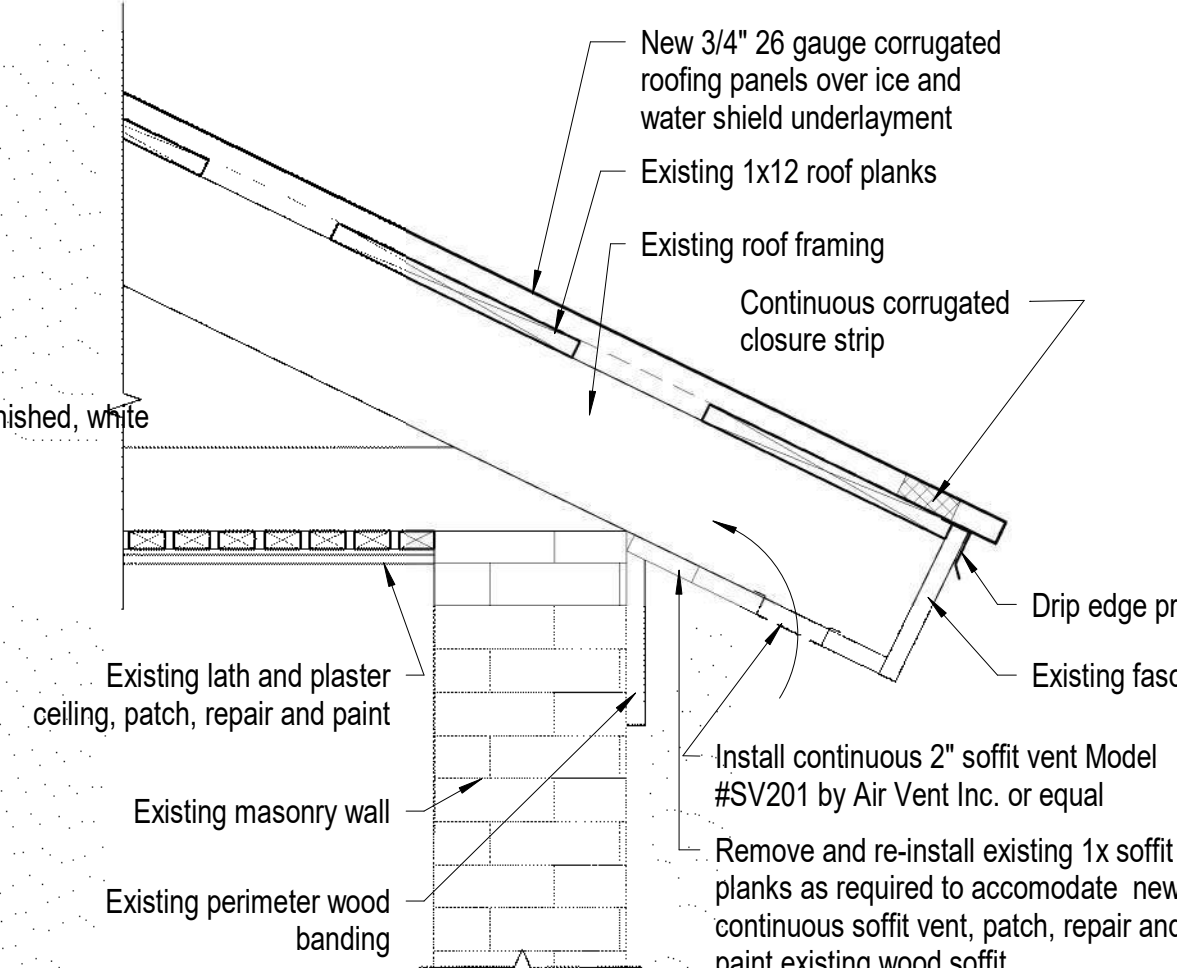
C4 Chimney Ridge Detail
1 1/2" = 1'-0"



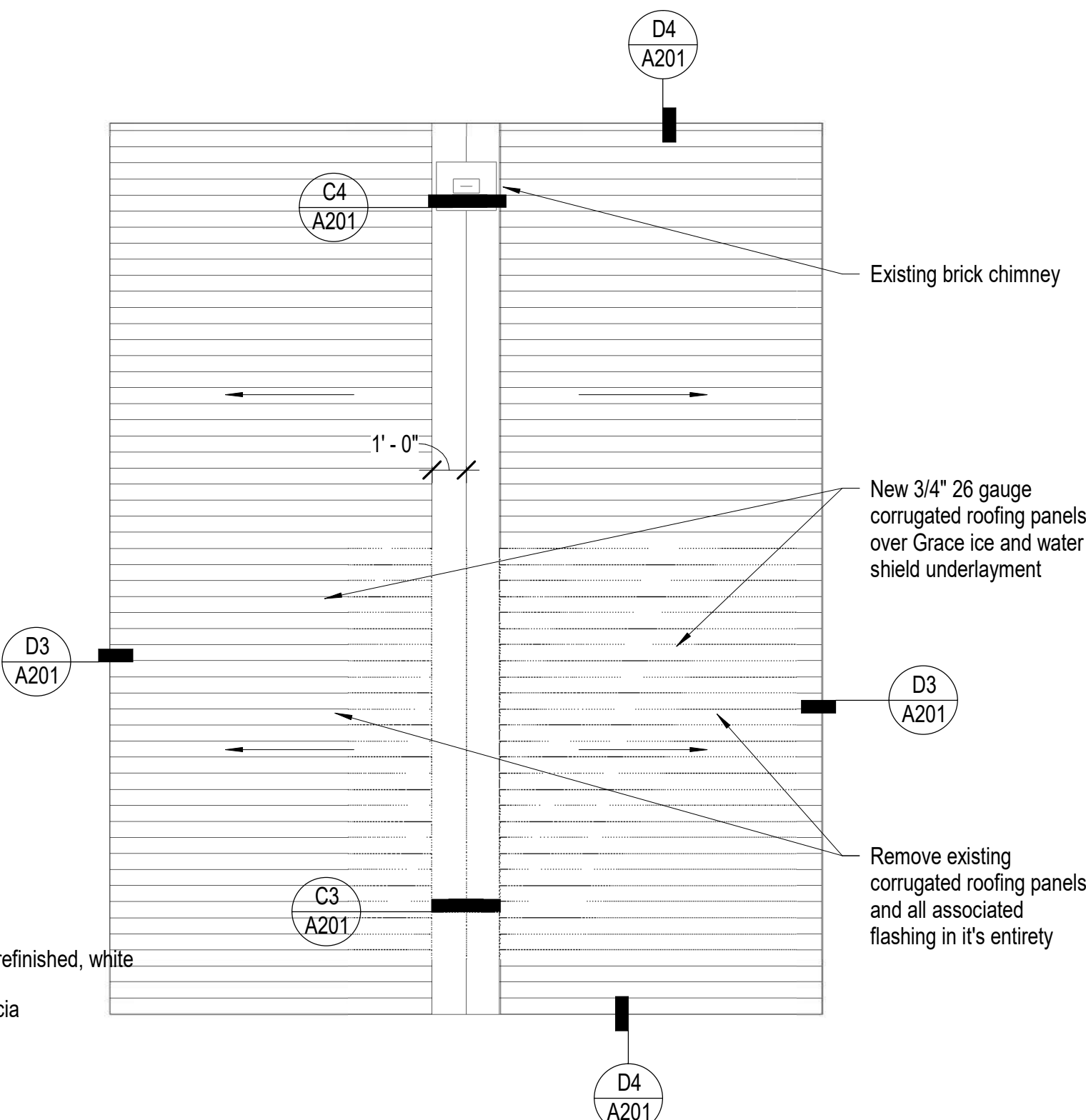
C3 Roof Ridge Detail
1 1/2" = 1'-0"



D4 Rake Detail
1 1/2" = 1'-0"



D3 Soffit/Eave Detail
1 1/2" = 1'-0"

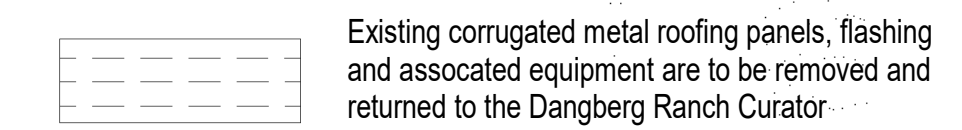


D2 Garage Alteration Roof Plan
1/4" = 1'-0"

Roof Plan Notes

- Coordinate construction operations, schedule, and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator.
- The existing roof system is as follows:
 - Existing corrugated steel roof panels over
 - Existing felt underlayment over
 - Existing 1x12 roof planks spaced 6"-8" between one another over
 - Existing 2x wood trusses at 24" o.c.
- The new roof system is as follows:
 - Corrugated steel roof panels (see Specifications) over
 - Ice and water shield underlayment over
 - Existing 1x12 roof planks spaced 6"-8" between one another over
 - Existing 2x wood trusses at 24" o.c.
- In the event that roof work creates a condition where interior spaces are open to weather, the Contractor shall protect the building from the effects of exposure to exterior conditions. The building shall be weather-tight at the conclusion of work each day. At the conclusion of work in a specific area the Contractor is to replace all removed components to a weather-tight condition. In the event that the roof leaks, the Contractor shall respond and make the roofing water tight within 3 hours, at no additional cost to the Owner.
- The Contractor shall maintain a clean environment during all constructions operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- See Project Manual and Specifications for additional information and requirements.
- Where roofing and flashing requirements vary from those described on the details, Contractor shall provide roofing manufacturer's approved details as required for warranty requirements.
- All penetrations, flashing's, and roofing components are to be installed per roof manufacturer's instructions and recommendations as required for warranty.
- Contractor shall completely protect the entire roof for the duration of construction procedures on the roof. Protection shall include covering necessary to protect the roof from foot traffic, equipment, weather, rain, and other potentially damaging sources.
- All existing metal roofing panels, trim and miscellaneous accessories are to be returned to the Dangberg Ranch Curator.

Roof Demolition Legend



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revisions

No.	Description	Date

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reviewed by PAC
date 2/10/2022
project number 21018
drawing name

Garage Roof Plan

sheet number

A201



Patch and repair concrete base (SikaQuick VOH or equal)

A5 Photo of Existing Conditions
Not to Scale

Clean, repair, prep and paint screen wood frame. Clean all hardware, typical

Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, interior and exterior typical



Clean all glazing lites interior and exterior

B5 Photo of Existing Conditions
Not to Scale

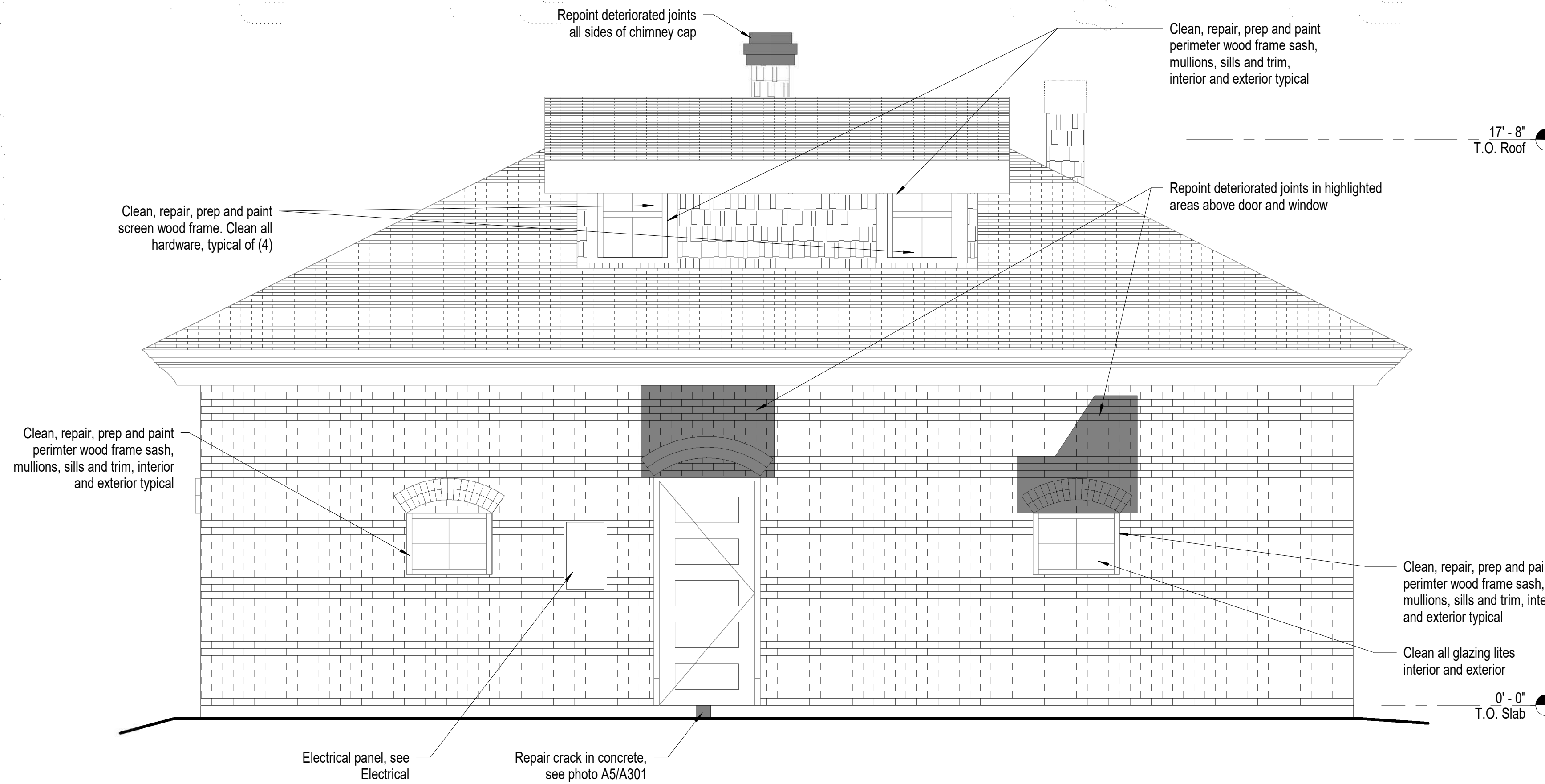
Clean, repair, prep and paint screen wood frame. Clean all hardware, interior and exterior typical

Clean all glazing lites interior and exterior

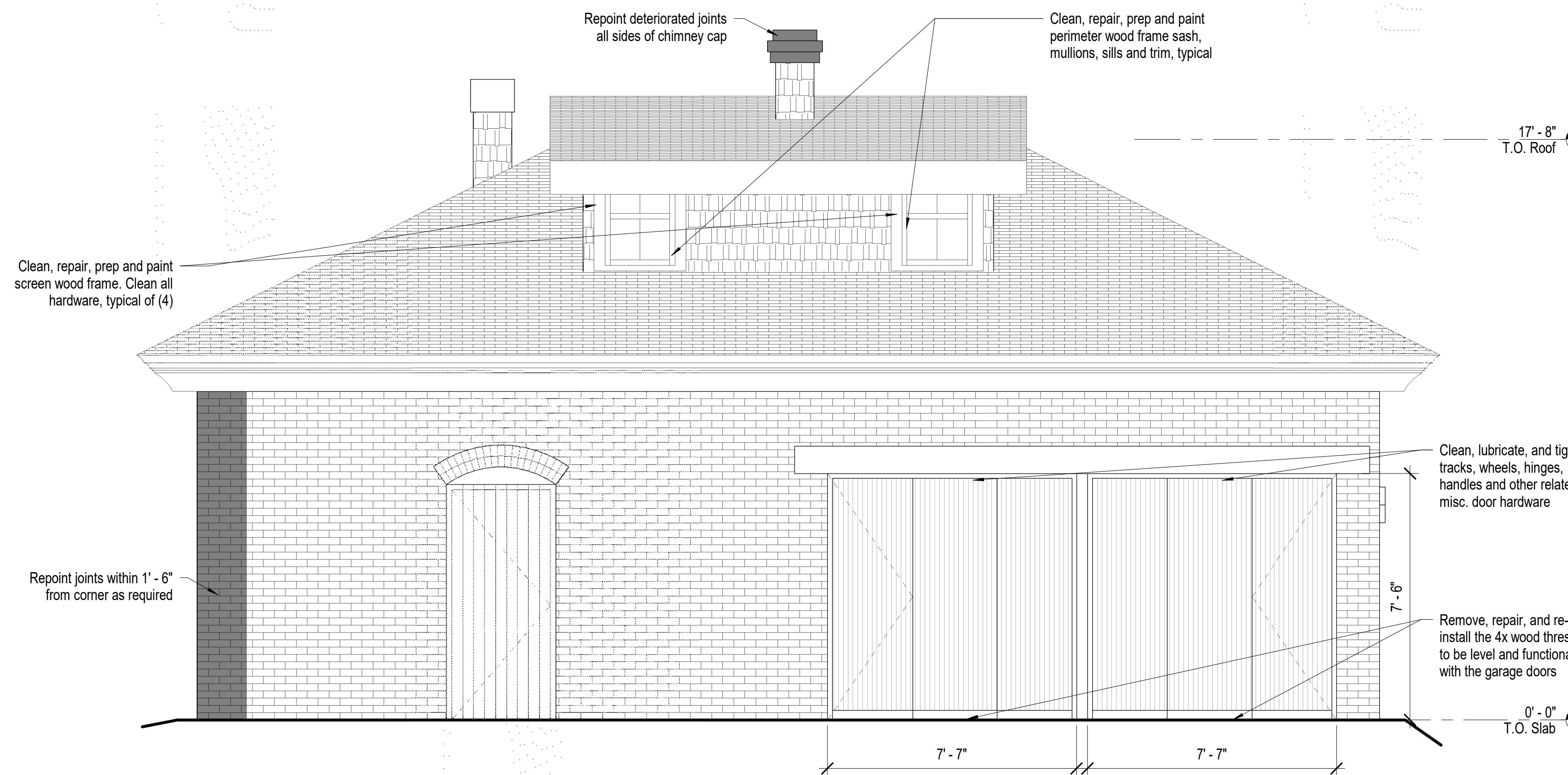
Clean, repair, prep and paint perimeter wood frame sash, mullions, sills and trim, typical



D5 Photo of Existing Conditions
Not to Scale



B4 Carriage House - West Elevation
3/8" = 1'-0"



D4 Carriage House - East Elevation
3/8" = 1'-0"

Carriage House Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Carriage House.

1. Cleaning and Water Repellent Treatments:

Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry will expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:

The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:

The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damaged glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:

The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:

The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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No.	Description	Date

drawn by Author
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

Exterior Elevations
- Carriage House

sheet number

A301



Remove, repair and reinstall the 4x wood threshold to be level and functional with garage doors

Patch and repair concrete base (SikaQuick VOH or equal)

A5 Photo of Existing Conditions
Not to Scale



Patch and repair concrete base (SikaQuick VOH or equal)

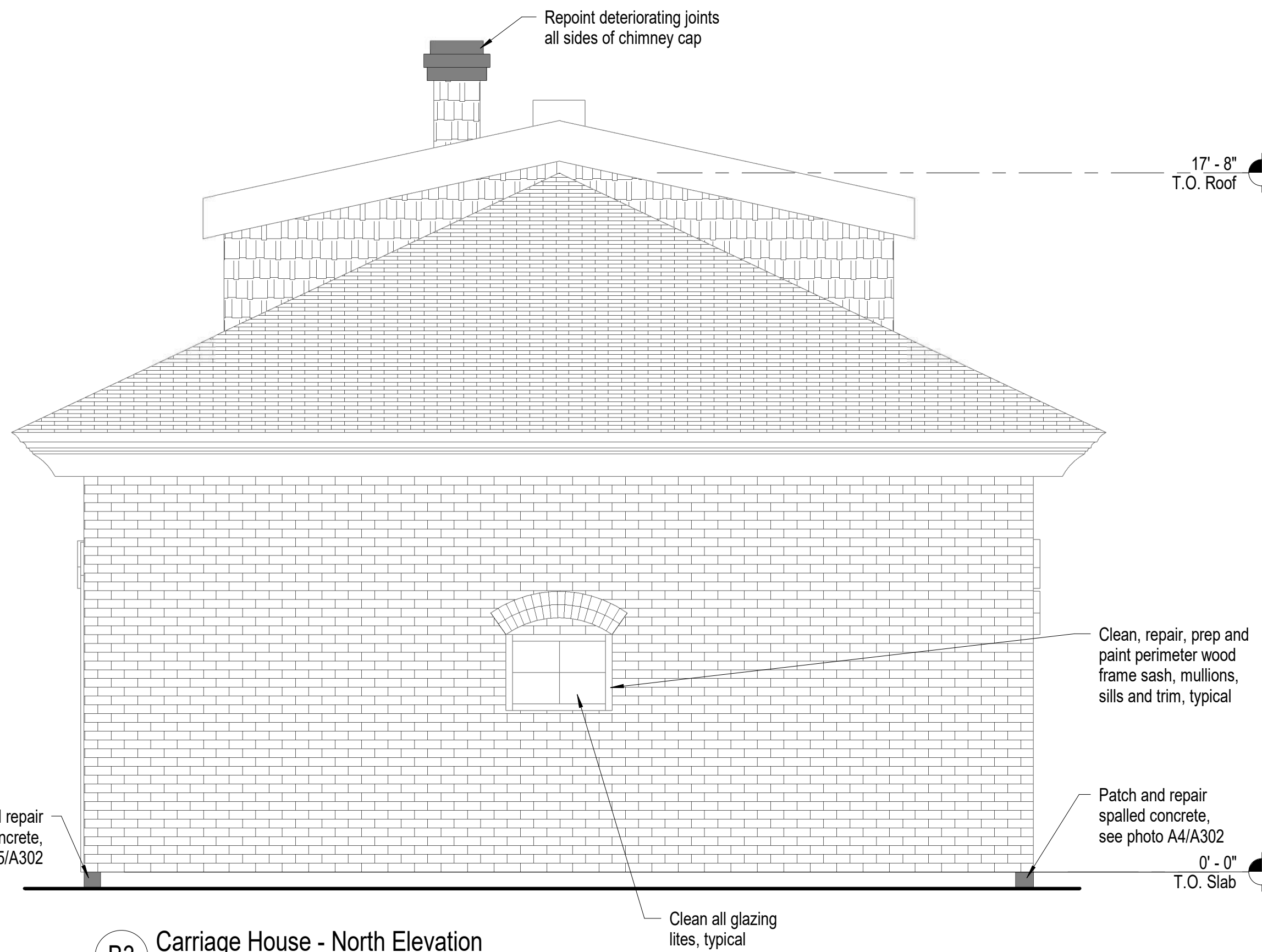
A4 Photo of Existing Conditions
Not to Scale



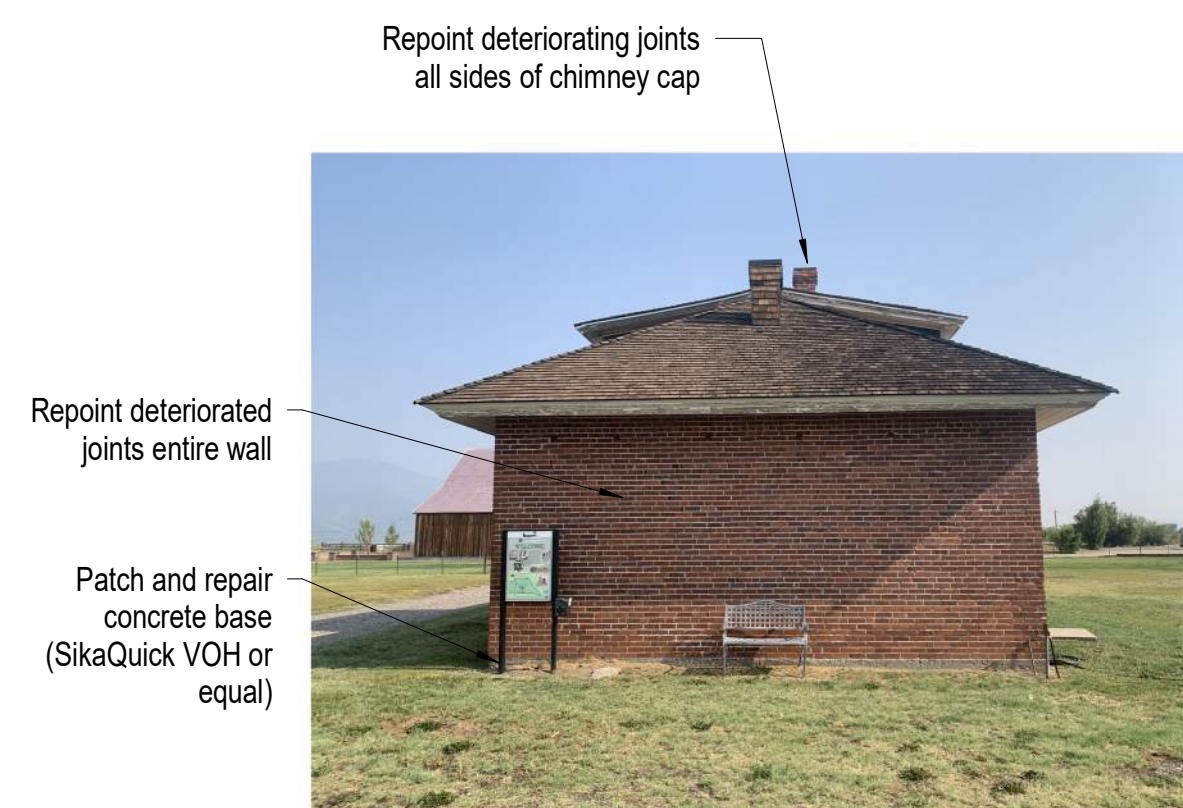
Dangberg Ranch Curator to remove items adjacent to building

Patch and repair concrete base (SikaQuick VOH or equal)

B1 Photo of Existing Conditions
Not to Scale



B3 Carriage House - North Elevation
3/8" = 1'-0"

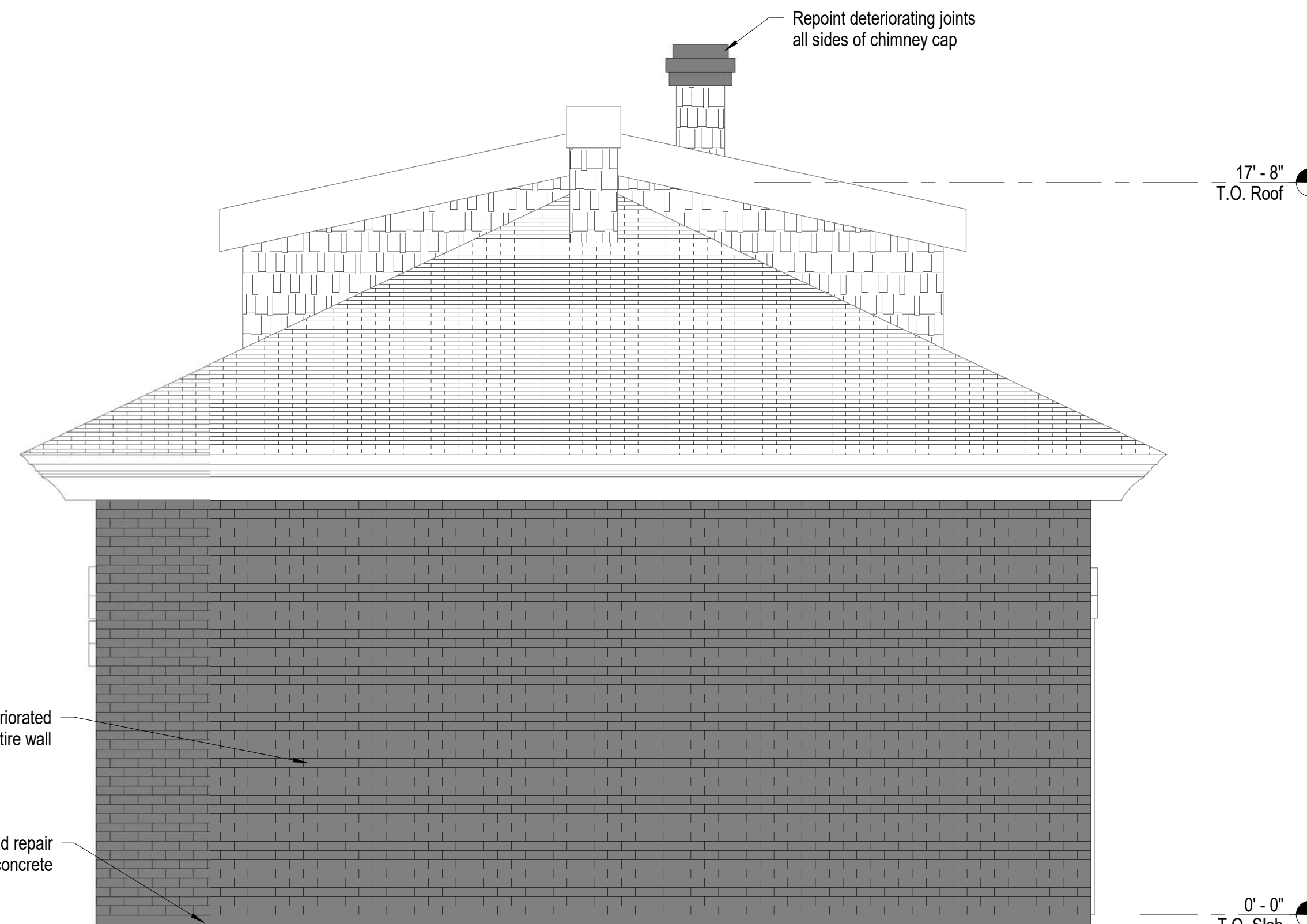


Repoint deteriorating joints all sides of chimney cap

Repoint deteriorated joints entire wall

Patch and repair concrete base (SikaQuick VOH or equal)

D1 Photo of Existing Conditions
Not to Scale



D3 Carriage House - South Elevation
3/8" = 1'-0"

Carraige House Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A101 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:
 1. Cleaning and Water Repellant Treatments:
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 2. Repointing Mortar Joints:
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.
 9. The Repair of Historic Wooden Windows:
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
 21. Repairing Historic Flat Plaster Walls and Ceilings:
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.
 28. Painting Historic Interiors:
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.

8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.

9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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professional seal



consultant

project

Dangberg Home Ranch
Restoration Projects

Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions

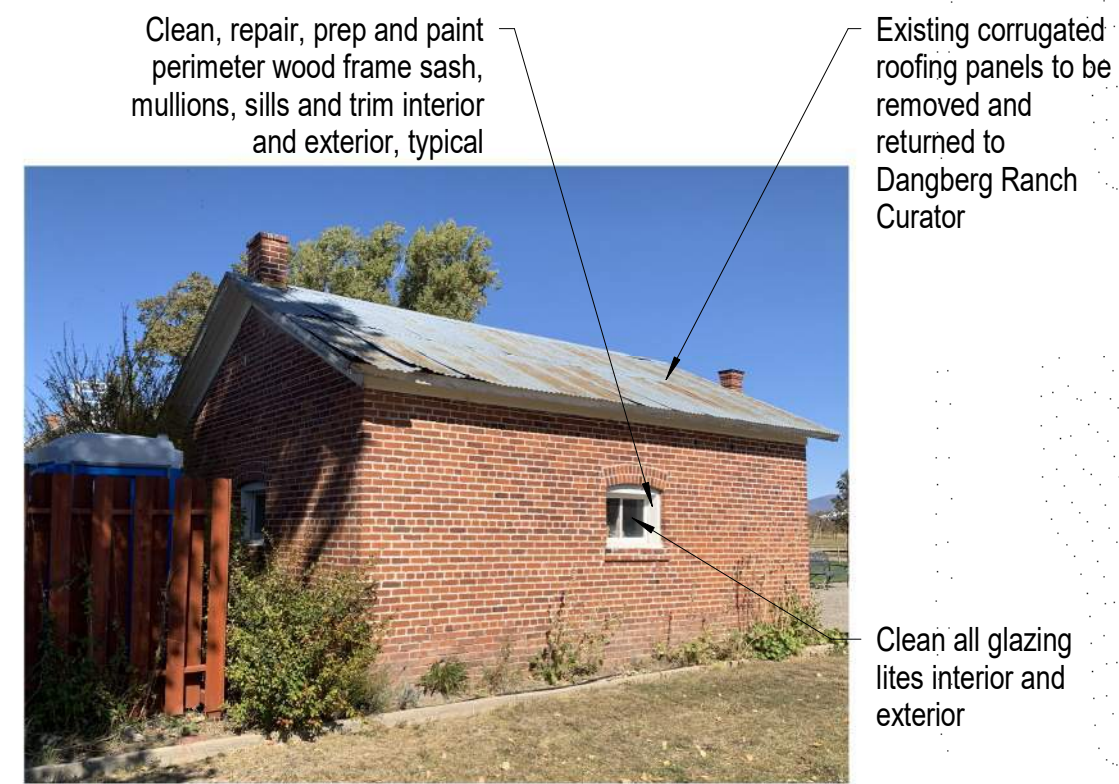
No.	Description	Date

drawn by _____ Author
reviewed by _____ Checker
date 2/10/2022
project number 21018
drawing name

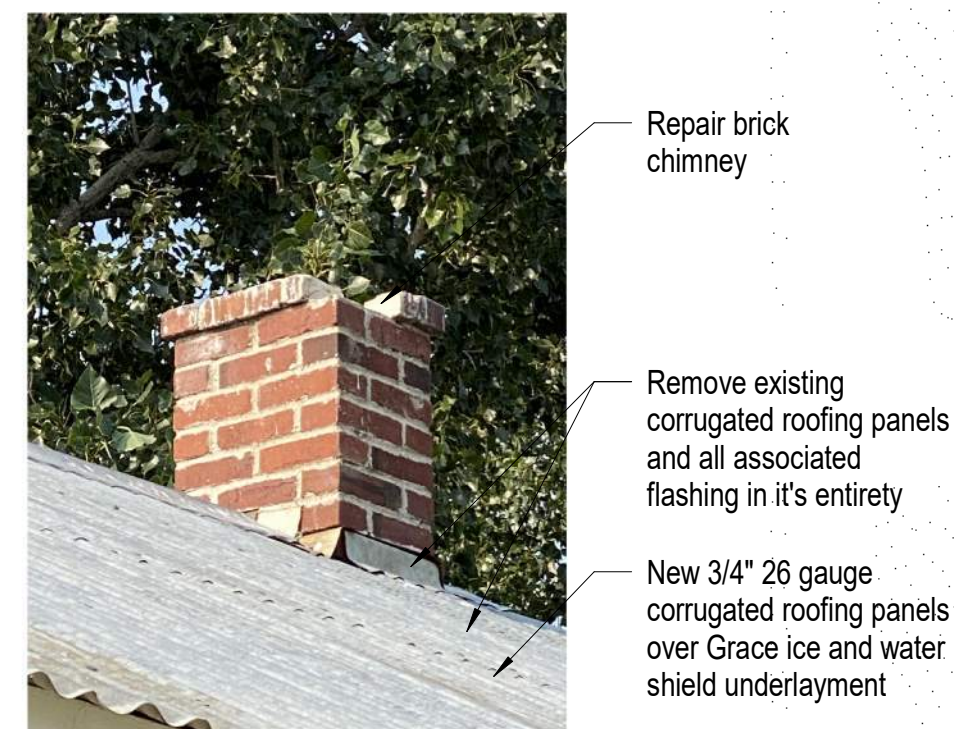
Exterior Elevations
- Carriage House

sheet number

A302



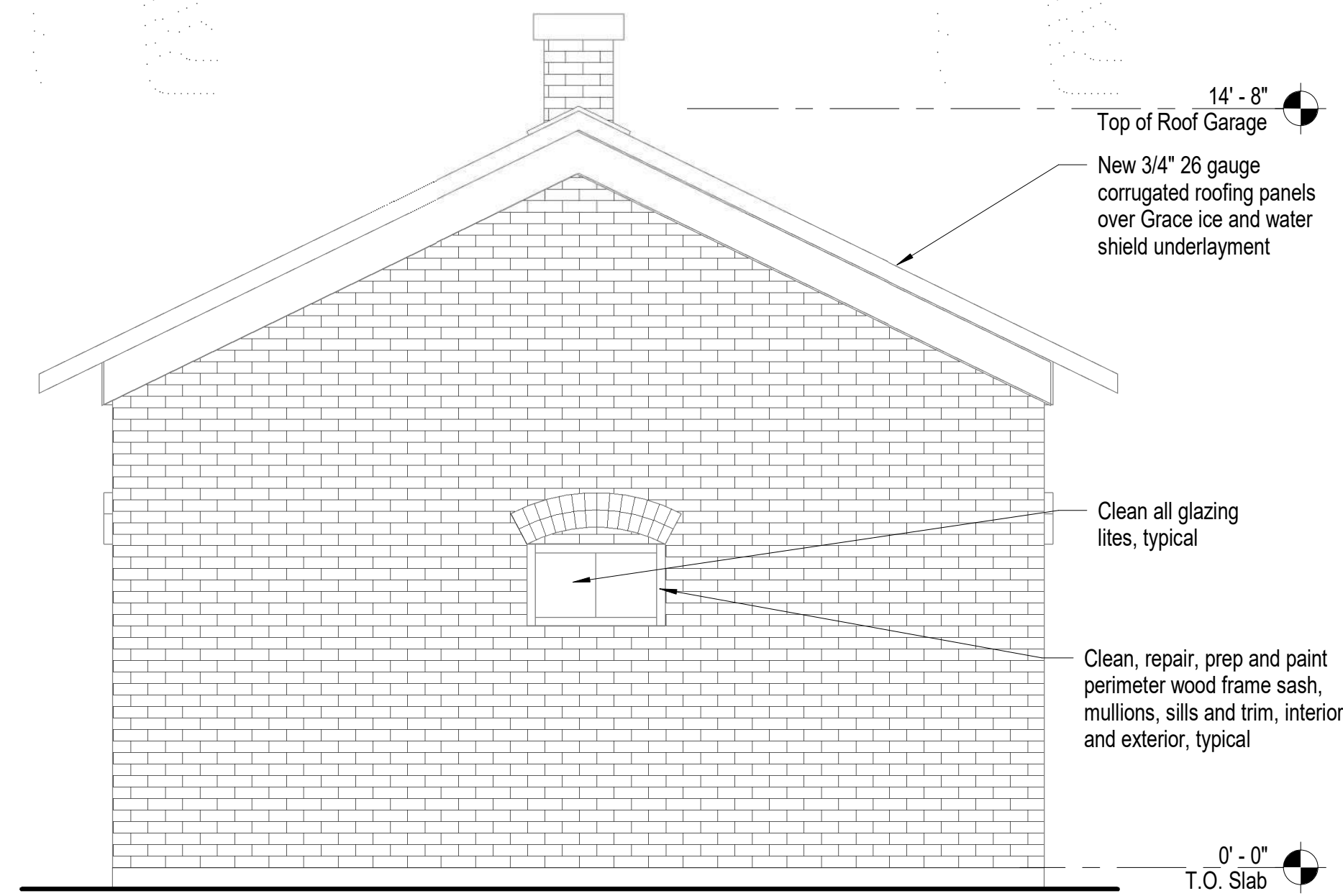
B4 Photo of Existing Conditions
Not to Scale



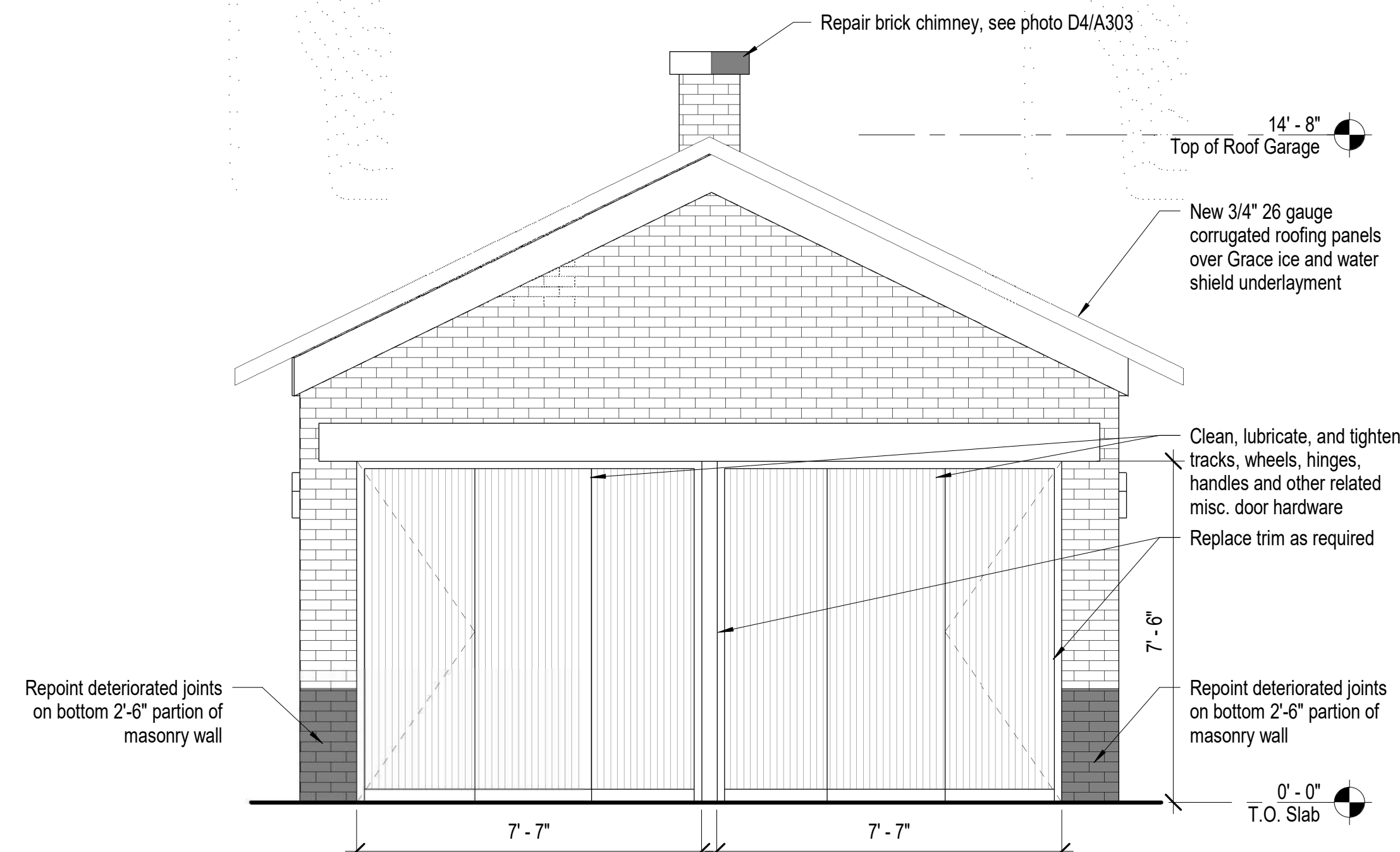
C4 Photo of Existing Conditions
Not to Scale



D4 Photo of Existing Conditions
Not to Scale



B3 Garage - West Elevation
3/8" = 1'-0"



D3 Garage - East Elevation
3/8" = 1'-0"

Garage Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Garage:

1. Cleaning and Water Repellent Treatments:
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.

2. Repointing Mortar Joints:
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.

9. The Repair of Historic Wooden Windows:
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.

21. Repairing Historic Flat Plaster Walls and Ceilings:
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.

28. Painting Historic Interiors:
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

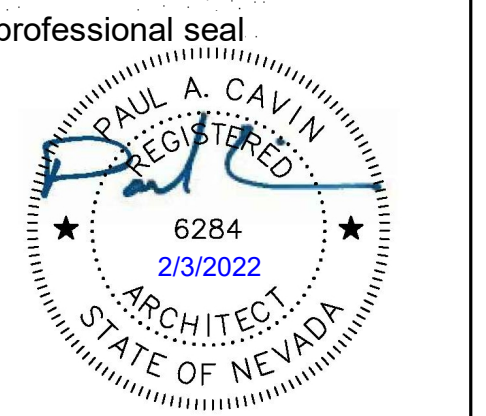
7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions

No.	Description	Date

drawn by RBR
reviewed by MLM
date 2/10/2022
project number 21018
drawing name

Exterior Elevations - Garage

sheet number

A303

Garage Exterior Elevation Notes

1. Refer to Project Manual and Specifications for additional information and requirements.
2. See sheet A102 for Dimensioned Floor Plan for plan dimensions related to exterior elevations.
3. All dimensions are approximate, Contractor to field verify all necessary dimensions.
4. See Structural drawings and specifications for additional information and requirements.
5. See Electrical drawings and specifications for additional information and requirements.
6. The following preservation briefs shall be used and followed for the execution of work at the Garage:
 1. **Cleaning and Water Repellent Treatments:**
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 2. **Repointing Mortar Joints:**
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repoint repairs in joints to match current tooling.
 9. **The Repair of Historic Wooden Windows:**
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
 21. **Repairing Historic Flat Plaster Walls and Ceilings:**
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.
 28. **Painting Historic Interiors:**
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

7. The Dangberg Ranch Curator will remove all vine growth at each building prior to construction.
8. The General Contractor, General Contractor's project manager and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
9. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

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**Dangberg Home Ranch
Restoration Projects**

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1450 NV-88
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revisions

No.	Description	Date

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reviewed by PAC
date 2/10/2022
project number 21018
drawing name

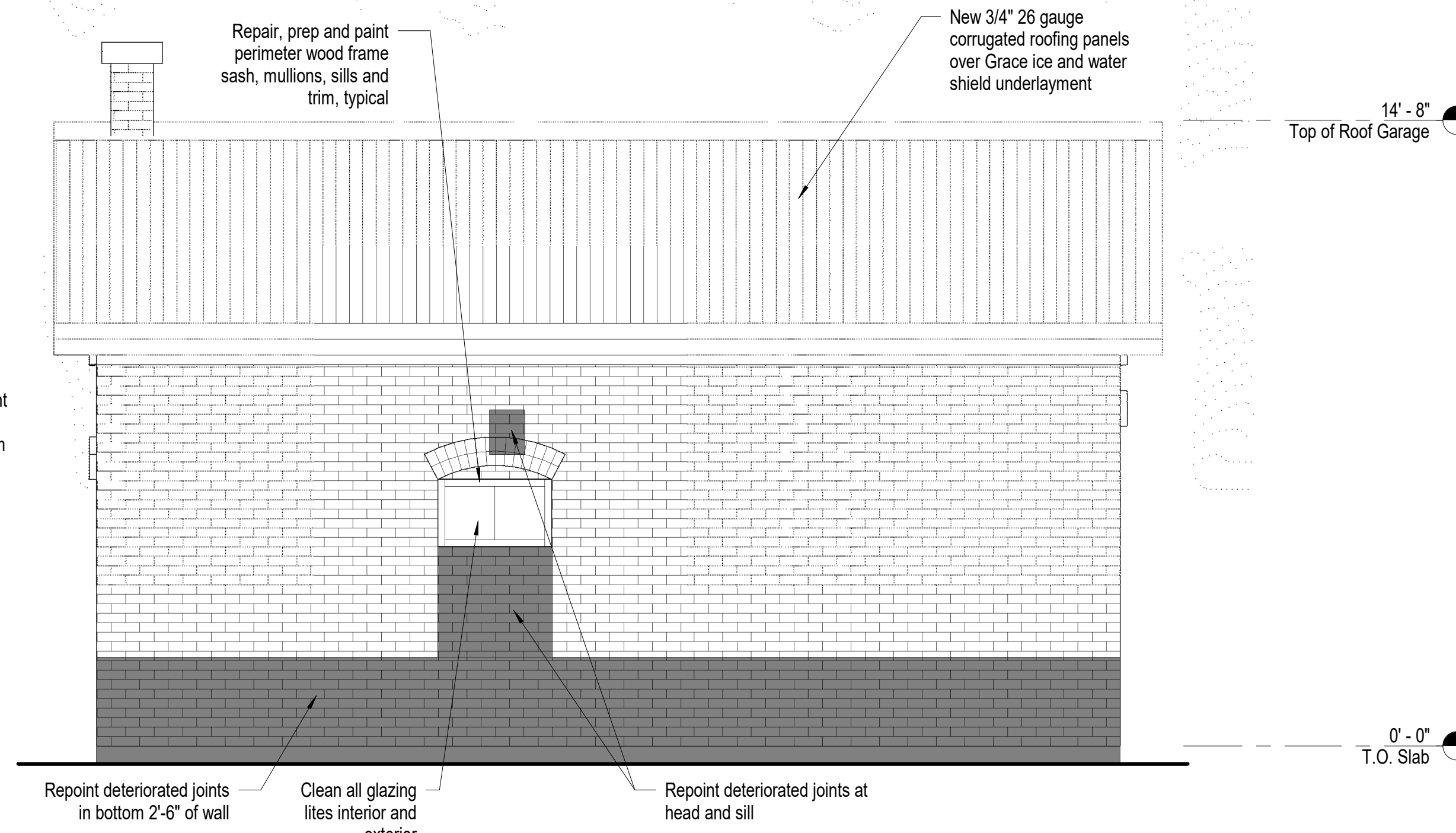
**Exterior Elevations
- Garage**

sheet number

A304



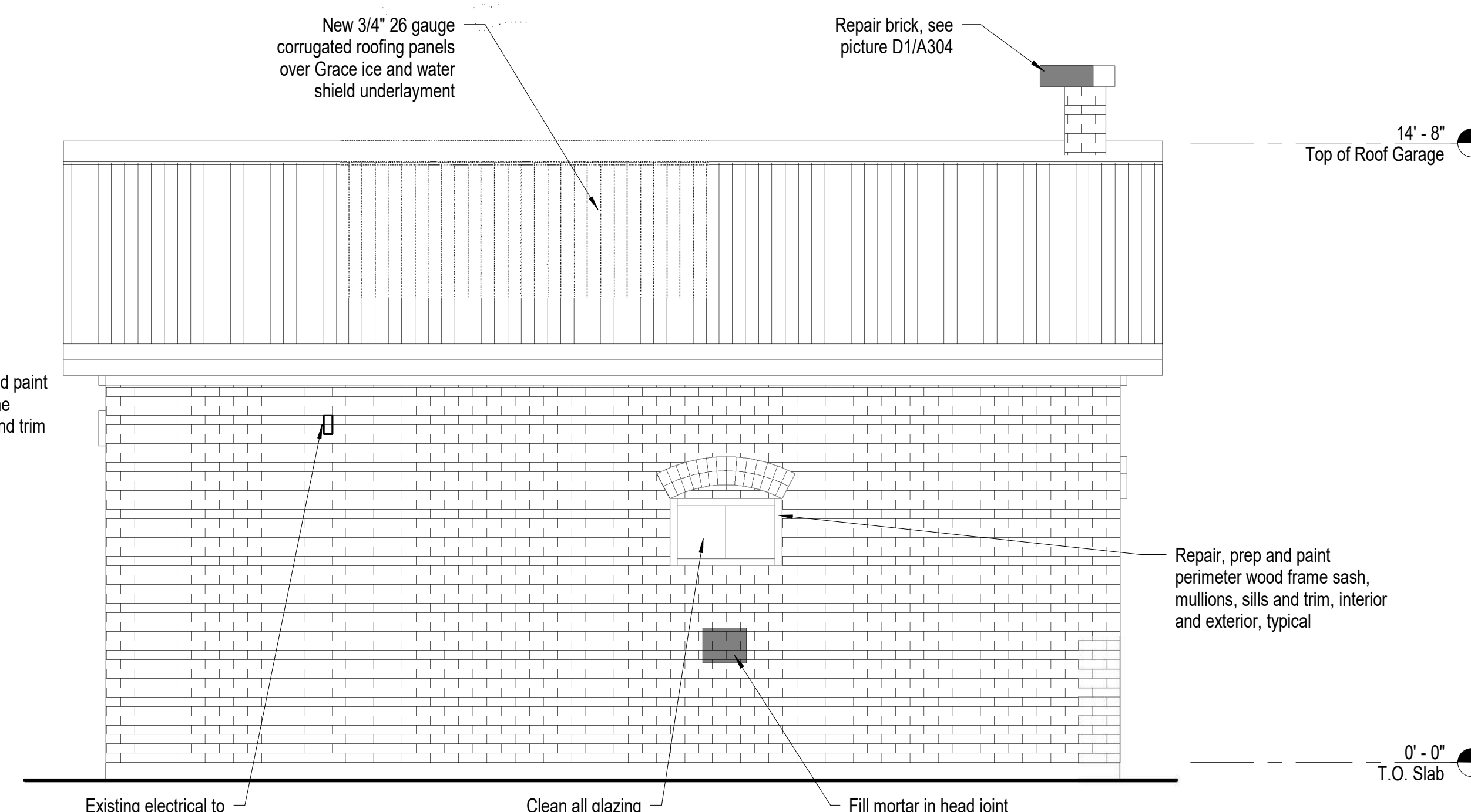
B1 Photo of Existing Conditions
Not to Scale



B3 Garage - North Elevation
3/8" = 1'-0"



D1 Photo of Existing Conditions
Not to Scale



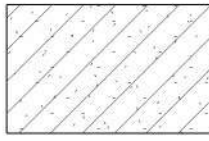

D3 Garage - South Elevation
3/8" = 1'-0"

Carriage House Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
5. The Contractor will be responsible for repairing any damage to the existing vegetation, finishes and due to construction activities related to the restoration project.
6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
7. The General Contractor, General Contractor's project manager, and General Contractor's superintendent shall be familiar with and follow the guidelines and procedures set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. This document will be used for setting the standards and procedures for all work related to this project.
8. Refer to Project Manual and Specifications for additional information and requirements.
9. See Structural drawings and specifications for additional information and requirements.
10. See Electrical drawings and specifications for additional information and requirements.
11. The following preservation briefs shall be used and followed for the execution of work at the Carriage House:
 1. Cleaning and Water Repellent Treatments:
Carefully follow recommended procedures in this brief in washing the Carriage House from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
 2. Repointing Mortar Joints:
The contractor should know and carefully follow and comply with this brief in analyzing existing mortar for creating a new mortar that matches the original mortar's sand, color, mixture, and vapor formability, without exceeding the compressive strength of the existing mortar repair in joints to match current tooling.
 9. The Repair of Historic Wooden Windows:
The contractor to verify presence of hazardous materials, mitigate as necessary, and dispose of waste appropriately. Contractor to insure windows are operating properly and repair as necessary for operation of windows, including removal of sash and replacing damaged wood components using traditional splicing techniques. Replace damage glazing panes to consistent with adjacent units. Make similar repairs to existing perimeter wood window frames, weather strip and seal with exterior grade sealant. Prep wood window components for prime and paint.
 21. Repairing Historic Flat Plaster Walls and Ceilings:
The contractor to use this brief in repairing for plaster repairs and replacement over wooden lath and framing. Where appropriate use veneer plaster as a two-coat process to patch and hide plaster repairs.
 28. Painting Historic Interiors:
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.

12. See sheet A301 and A302 for the Carriage House exterior elevations.
13. See sheet A501 for the Carriage House reflected ceiling plan.
14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

Reflected Ceiling Plan Legend

-  Existing plaster ceiling to be removed
-  New plaster ceiling system painted

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Dangberg Home Ranch
Restoration Projects

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revisions

No.	Description	Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

Carriage House
Reflected Ceiling
Plans

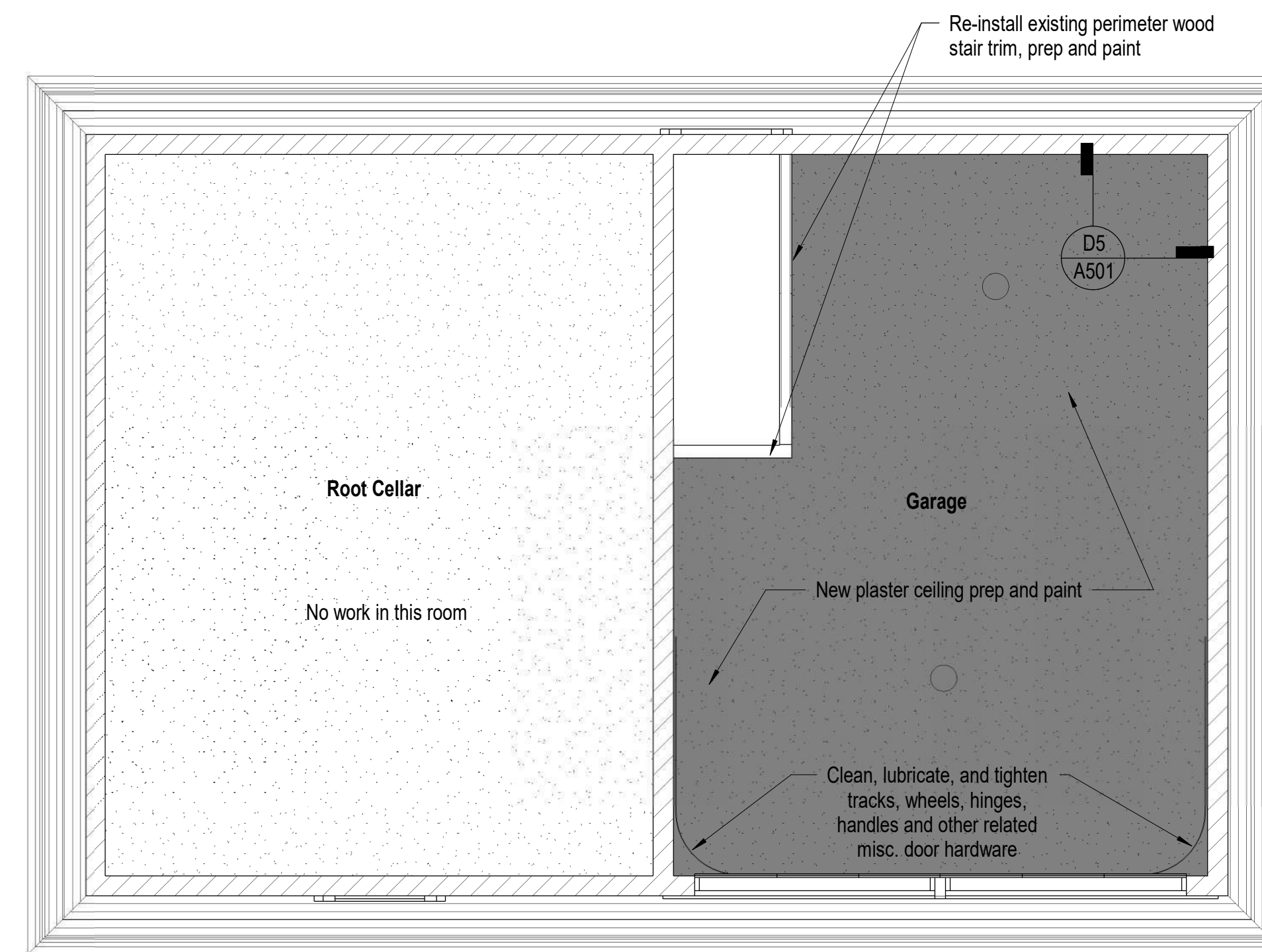
sheet number

A501



Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

B4 Photo of Existing Conditions
Not to Scale

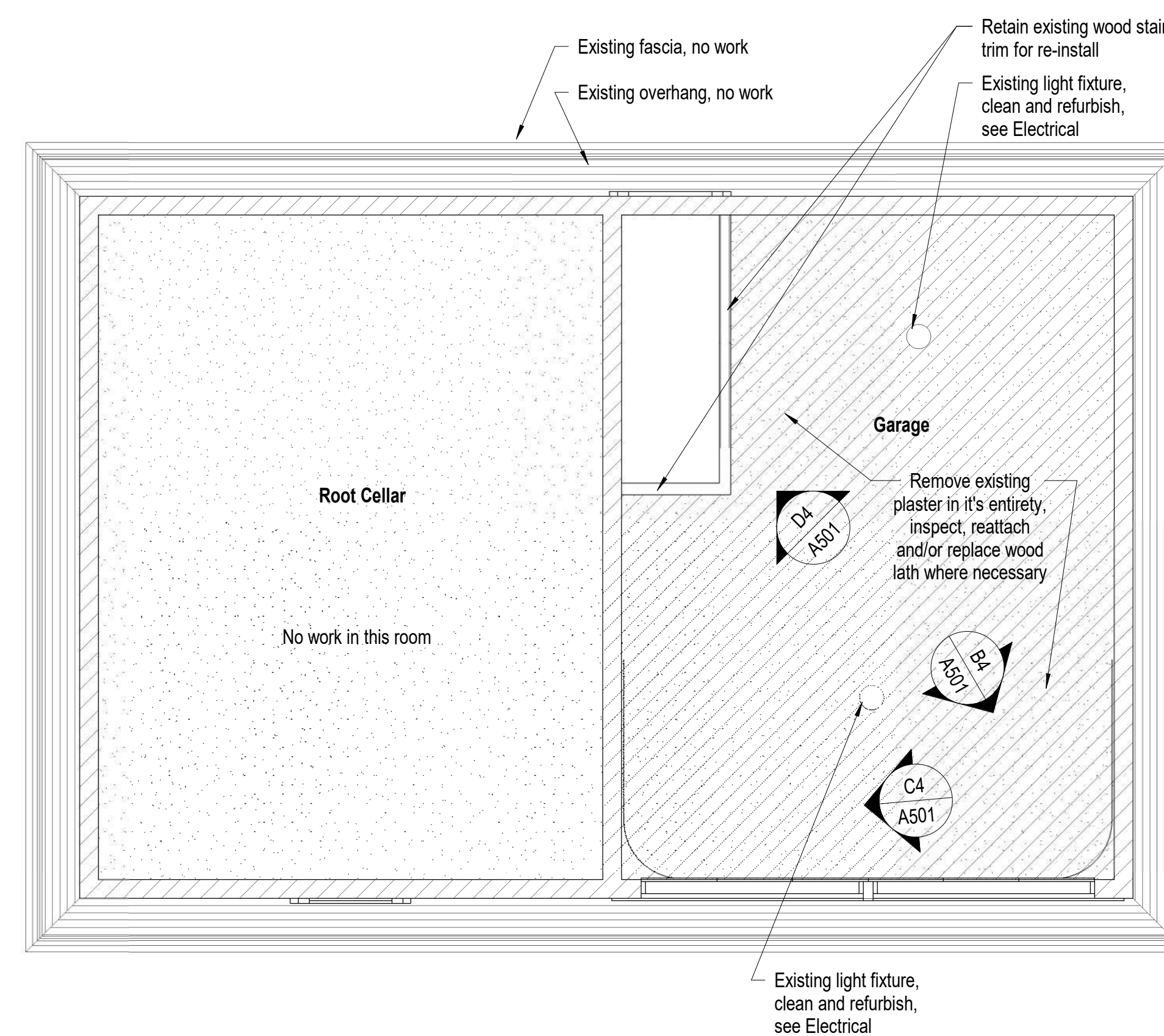


B3 Carriage House - Alteration Reflected Ceiling Plan
1/4" = 1'-0"

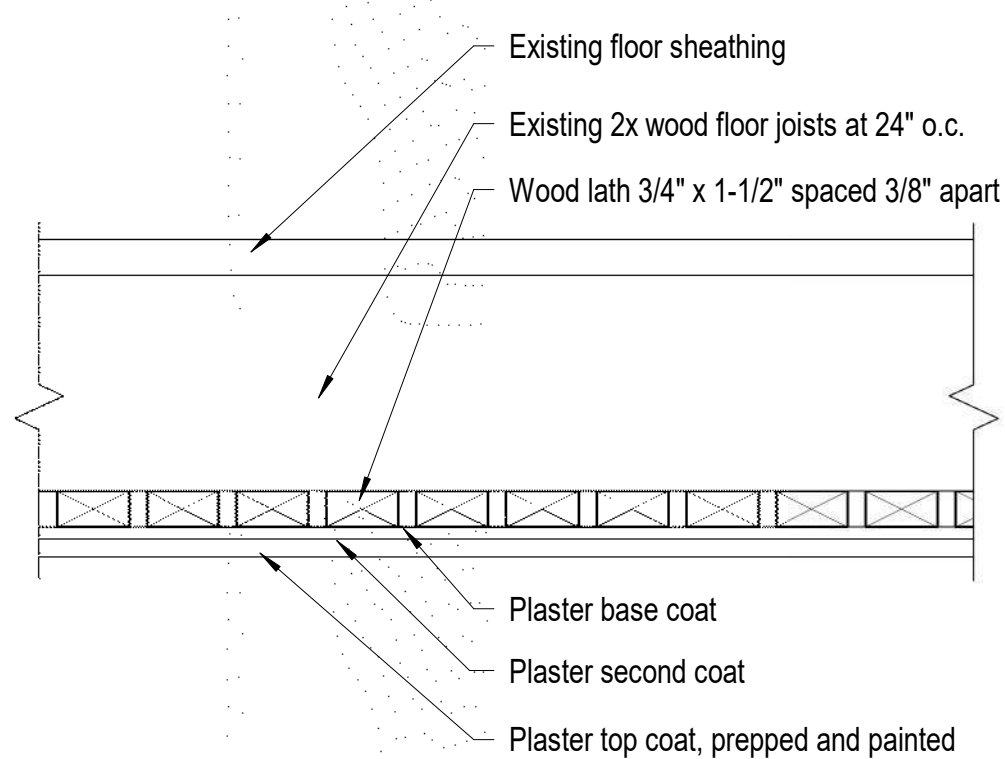


Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

C4 Photo of Existing Conditions
Not to Scale



D3 Carriage House - Demolition Reflected Ceiling Plan
1/4" = 1'-0"

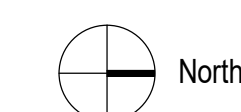


D5 Ceiling Detail
3" = 1'-0"



Retain existing wood stair trim for re-install; Remove existing plaster in it's entirety, inspect, reattach and/or replace wood lath where necessary

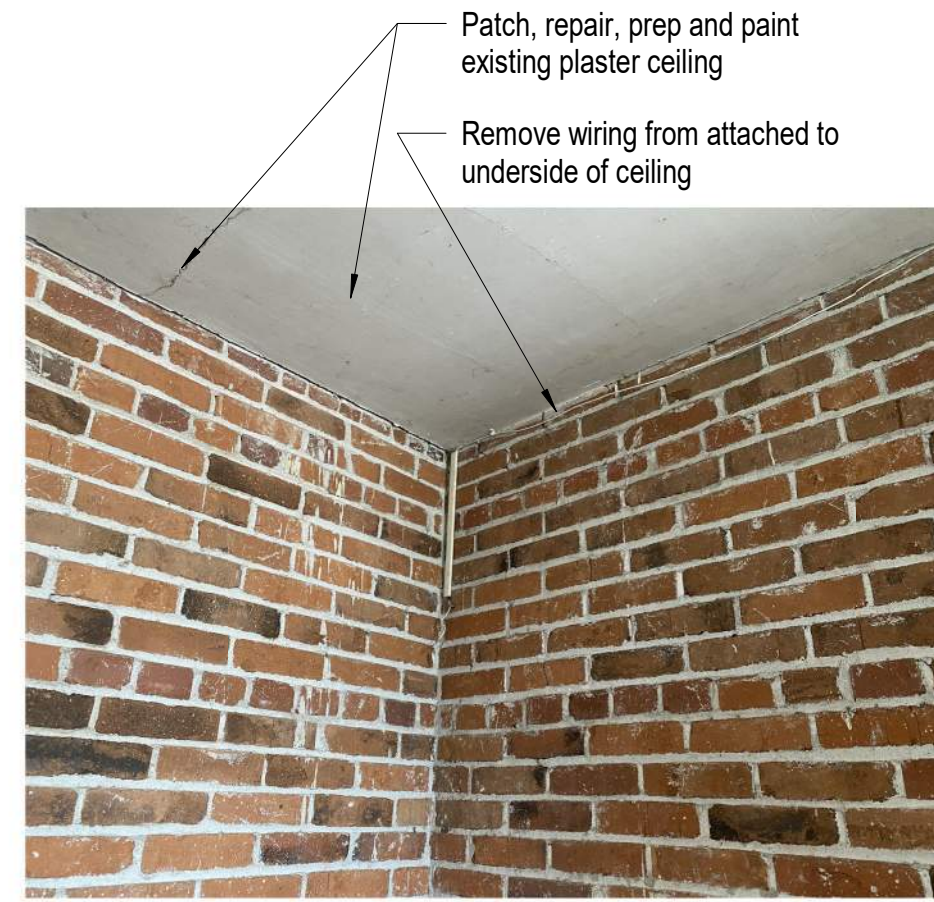
D4 Photo of Existing Conditions
Not to Scale





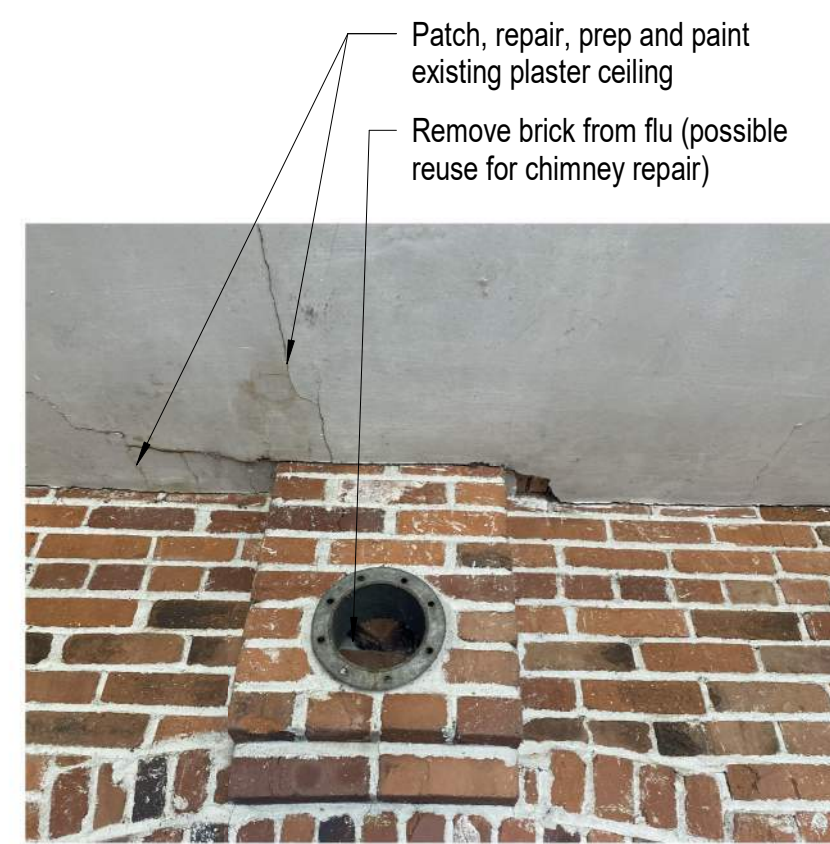
- Patch, repair, prep and paint existing plaster ceiling
- Existing light fixture, clean and refurbish, see Electrical

A4 Photo of Existing Conditions
Not to Scale



- Patch, repair, prep and paint existing plaster ceiling
- Remove wiring from attached to underside of ceiling

B4 Photo of Existing Conditions
Not to Scale



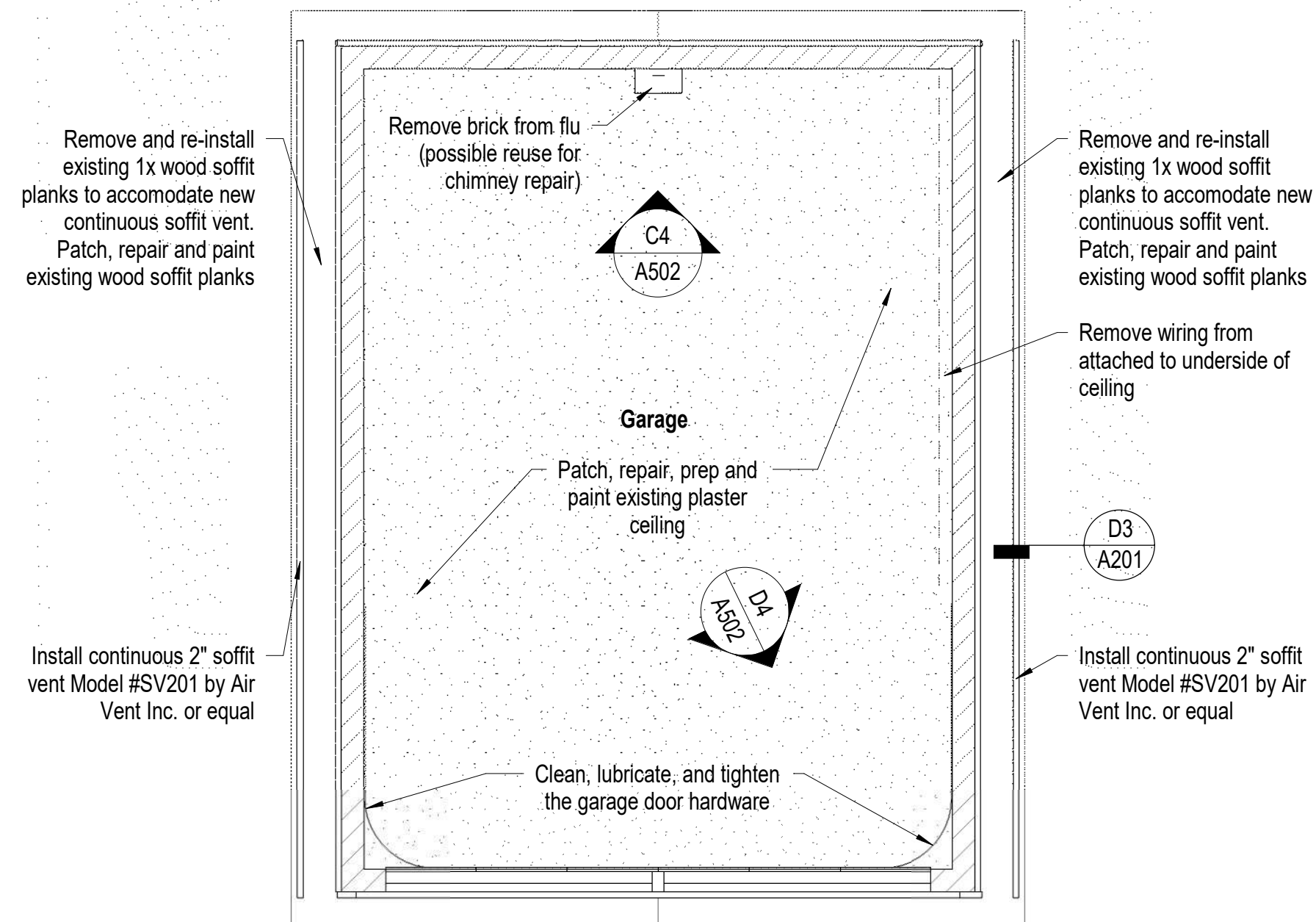
- Patch, repair, prep and paint existing plaster ceiling
- Remove brick from flu (possible reuse for chimney repair)

C4 Photo of Existing Conditions
Not to Scale

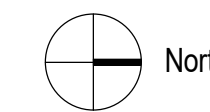


- Patch, repair, prep and paint existing plaster ceiling

D4 Photo of Existing Conditions
Not to Scale



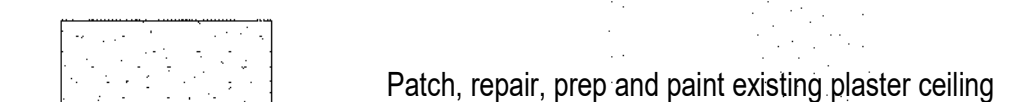
D3 Garage Reflected Ceiling Plan
1/4" = 1'-0"



Garage Notes

1. Coordinate construction operations, schedule and sequencing with Douglas County Community Services Project Manager and Dangberg Ranch Curator. User will occupy the site during construction operations.
2. The Contractor shall be responsible for setting the exact limits of demolition required in order to perform the work.
3. The Contractor shall maintain a clean environment during all construction operations and shall conduct a final cleaning of entire area of work at the conclusion of the project.
4. The Contractor shall protect existing vegetation, finishes and historical features from construction traffic, cutting and all construction activities.
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6. Contractor shall limit work access to areas indicated during approved working hours and shall remove materials, tools and debris after construction hours.
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8. Refer to Project Manual and Specifications for additional information and requirements.
9. See Structural drawings and specifications for additional information and requirements.
10. See Electrical drawings and specifications for additional information and requirements.
11. The following preservation briefs shall be used and followed for the execution of work at the Garage:
 1. Cleaning and Water Repellent Treatments:
Carefully follow recommended procedures in this brief in washing the Garage from the bottom up using clean water and soft bristle brushes once all repair and restoration work has been completed. Do not attempt to clean masonry during cold weather when subject to freezing and/or cold temperatures. The masonry and grout expand and contract significantly and results in damage to the material's integrity. Please refer to Preservation Brief #6 for the Dangers of abrasive cleaning.
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 28. Painting Historic Interiors:
The contractor to use this brief as a guideline in preparing the interiors for re-painting and new painting. With historic finishes, use hand procedures in removing flaking surfaces compatible for receiving new paint.
12. See sheet A303 and A304 for the Garage exterior elevations.
13. See sheet A502 for the Garage reflected ceiling plan.
14. Dangberg Curator to remove over grown vegetation and other items adjacent to the building.
15. See specification section 06 30 00.01 Epoxy Repair for Deterioration and Decay in Wooden Members for repair products and procedures related to repairing of damaged wood.

Reflected Ceiling Plan Legend



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project

**Dangberg Home Ranch
Restoration Projects**

Dangberg Home Ranch
1450 NV-88
Minden, Nevada 89423

revisions

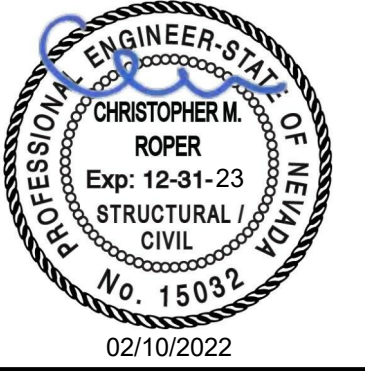
No.	Description	Date

drawn by MLM
reviewed by PAC
date 2/10/2022
project number 21018
drawing name

**Garage Reflected
Ceiling Plan**

sheet number

A502



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**Dangberg Home Ranch
Restoration Projects**

Douglas County Community Services
1594 Esmeralda Avenue
Minden, Nevada 89423

No.	Description	Date

drawn by	RGF
reviewed by	CMR
date	02/10/2022
project number	21025
drawing name	

**STRUCTURAL
NOTES &
TYPICAL
DETAILS**

STANDARD ABBREVIATIONS		STEEL JOIST GIRDER	
AB	ANCHOR BOLT	JT	JOINT
A/E	ARCHITECT / ENGINEER	K	KING STUD, KIPS
AFF	ABOVE FIN FLR	KS	KIPS PER SQUARE INCH
AGG	AGGREGATE	KSF	KIPS PER SQUARE FOOT
ALT	ALTERNATE	L	ANGLE
ALUM	ALUMINUM	LBS	POUNDS
APPROX	APPROXIMATELY	LLV	LONG LEG VERTICAL
ARCH	ARCHITECT	LLH	LONG LEG HORIZONTAL
BFF	BELOW FIN FLR	LT WT	LIGHT WEIGHT
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCKING	MB	MACHINE BOLT
BM	BEAM	MECH	MECHANICAL
BN	BOUNDARY NAIL	MFR	MANUFACTURER
BO	BOTTOM OF	MISC	MISCELLANEOUS
BOT	BOTTOM	MIN	MINIMUM
B/S	BOTH SIDES	MTL	METAL
CP	CAST IN PLACE	(N)	NOT APPLICABLE
CJ	CONTROL JOINT	NS	NEAR SIDE
CJP	COMPLETE JOINT	NBA	NELSON STUD ANCHOR
CL	CENTERLINE	NTS	NOT TO SCALE
CLS	Ceilings	OC	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONC MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	OKU	OPEN WEB STEEL JOIST
CONC	CONCRETE	PERP	PERPENDICULAR
CONN	CONNECTION	FL	FLATE
CONST	CONSTRUCTION	PLF	POUNDS PER FOOT
CONT	CONTINUOUS	PLY	PLYWOOD
COTSK	COUNTERSINK	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARDS	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PT	PRESSURE TREATED, POST TENSIONED
DF	DOUGLAS FIR	REINF	REINFORCING
DIA	DIAMETER	REGD	REQUIRED
DJ	DOVELEDED JOINT	SCH	SCHEDULE
DWS	DRAWING	SHTS	SHEATHING
EA	EACH	SIM	SIMILAR
EF (E/F)	EACH FACE	SOG	SLAB ON GRADE
ELEV	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRICAL	STAGG	STAGGERED
EN	EDGE NAIL	STD	STANDARD
EOR	ENGINEER OF RECORD	STIFF	STIFFENER
ES	EACH SIDE	STL	STEEL
EM (E/W)	EACH WAY	STRUC	STRUCTURAL
(E)	EXISTING	SYM	SYMMETRICAL
EXT	EXTERIOR	TRM	TRIMMER
FF	FINISHED FLOOR	TN	TORNAIL
FN	FINISH	TO	TOP OF
FLR	FLOOR	TYP	TYPICAL
FN	FACE NAIL	T&G	TONGUE & GROOVE
FO	FACE OF	T&B	TOP & BOTTOM
FS	FAR SIDE	UNO	UNLESS NOTED OTHERWISE
FT	FEET	VERT	VERTICAL
FTG	FOOTING	VF	VERIFY IN FIELD
GA	GAGE, GAUGE	WF	WIDE FLANGE
GALV	GALVANIZED	W/F	WELDED WIRE FABRIC
GLB	GLULAM BEAM	WTH	WITH
HDR	HEADER	W/O	WITHOUT
HORIZ	HORIZONTAL	Ø	AT
HSB	HIGH STRENGTH BOLT	#	NUMBER, POUNDS
ID	INSIDE DIAMETER	+	AND
IN	INCHES	-	PLUS OR MINUS
INT	INTERIOR		

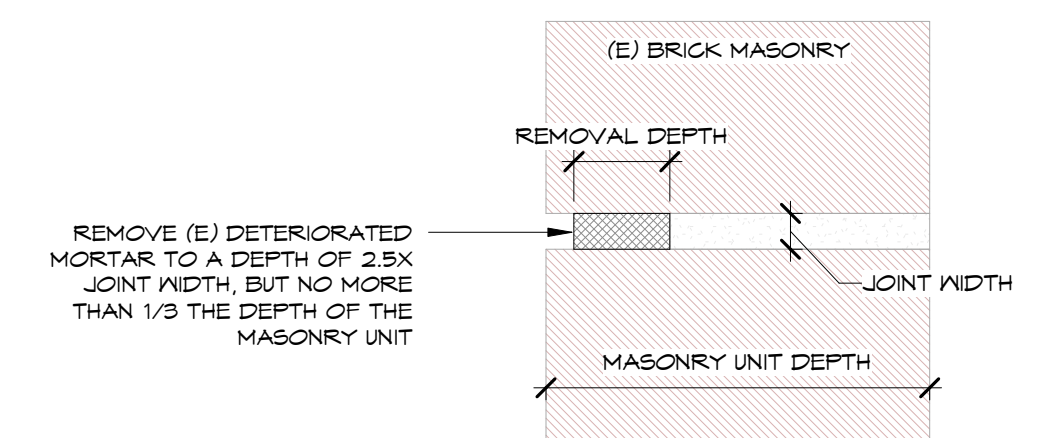
SHEET INDEX		
Sheet Number	Sheet Name	Sheet Issue Date
S001	STRUCTURAL NOTES & TYPICAL DETAILS	02/10/2022 2
S002	ENTRY GATTLE GUARD REPAIRS	02/10/2022 2

GENERAL

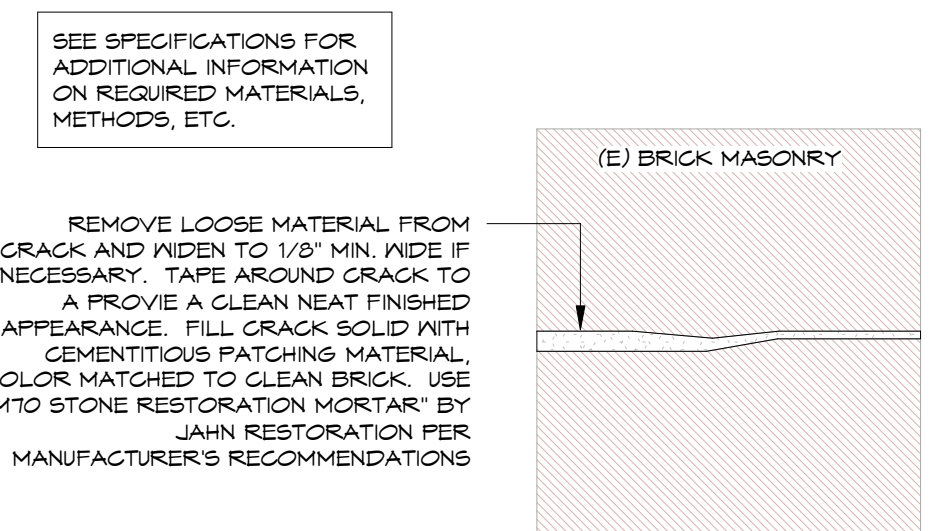
- THESE GENERAL NOTES APPLY TO ALL WORK SHOWN IN THE STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES SHALL BE DIRECTLY RESPONSIBLE FOR READING AND COMPLYING WITH ALL INFORMATION PROVIDED IN THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL GENERAL NOTES AND TYPICAL DETAILS SHOWN IN THE DRAWINGS, WHETHER OR NOT SPECIFIC FLAGGING OR REFERENCE HAS BEEN MADE TO THE APPLICABLE GENERAL NOTE OR TYPICAL DETAIL. PROJECT SPECIFIC NOTES AND DETAILS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- ALL WORK SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE CURRENT ADOPTED BUILDING CODE, THE LATEST EDITION OF ASTM OR OTHER INDUSTRY STANDARDS REFERENCED, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND REGULATIONS. FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE REGULATING AGENCIES THAT HAVE AUTHORITY OVER SUCH PORTIONS OF WORK.
- THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND EXECUTION OF A SAFETY PROGRAM AND DESIGN AND INSTALLATION OF BRACING, SHORING, FORMS AND SCAFFOLDING. THE CONTRACTOR SHALL RETAIN HIS OWN ENGINEER WHERE REQUIRED FOR MEANS AND METHODS AS WELL AS ANY OTHER DELEGATED DESIGN ITEMS.
- THE CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, GRADES AND CONDITIONS WITH EXISTING CONDITIONS IN THE FIELD AND WITH ARCHITECTURAL AND OTHER DRAWINGS (I.E. CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, ETC.) PRIOR TO CONSTRUCTION. THE ARCHITECT AND ENGINEER (A/E) SHALL BE NOTIFIED OF ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- IN THE EVENT EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN IN THE DRAWINGS, THE A/E SHALL BE NOTIFIED SO REVISIONS OR CLARIFICATIONS CAN BE MADE WHERE NECESSARY.
- NO CHANGES OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE A/E. ANY DESIRED CHANGES OR DEVIATIONS SHALL BE PRESENTED TO THE A/E FOR REVIEW WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED.
- DO NOT SCALE THE DRAWINGS. DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SCALE ACCURATELY.

SHOP DRAWINGS / SUBMITTALS

- THE FOLLOWING SHALL BE SUBMITTED TO THE A/E FOR REVIEW AND APPROVAL:
 - CONCRETE REPAIR MATERIALS AND MATERIAL CUTSHEETS
 - MASONRY MORTARS, REPAIR MATERIALS, AND MATERIAL CUTSHEETS.
- WHERE SHOP DRAWINGS / SUBMITTALS ARE REQUIRED THEY ARE TO BE PROVIDED TO THE A/E FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR PLACEMENT. SUBMITTALS SHALL BE COMPLETE AND COORDINATED BY THE CONTRACTOR AND REPRODUCTIONS OF THE CONTRACT DRAWINGS WILL NOT BE ACCEPTABLE.
- PRIOR TO SUBMISSION TO THE A/E, THE CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SUBMITTALS SHALL BE STAMPED/SIGNED BY THE CONTRACTOR AS HAVING BEEN REVIEWED FOR CONFORMANCE.
- SHOP DRAWING SUBMITTALS PROCESSED BY THE A/E SHALL NOT BE CONSTRUED AS CHANGE ORDERS.
- ANY DETAIL ON THE SHOP DRAWINGS THAT DEVIATES FROM THE CONTRACT DOCUMENTS SHALL BE CLEARLY NOTED, MARKED AND CLOUDED ACCORDINGLY FOR THE A/E.

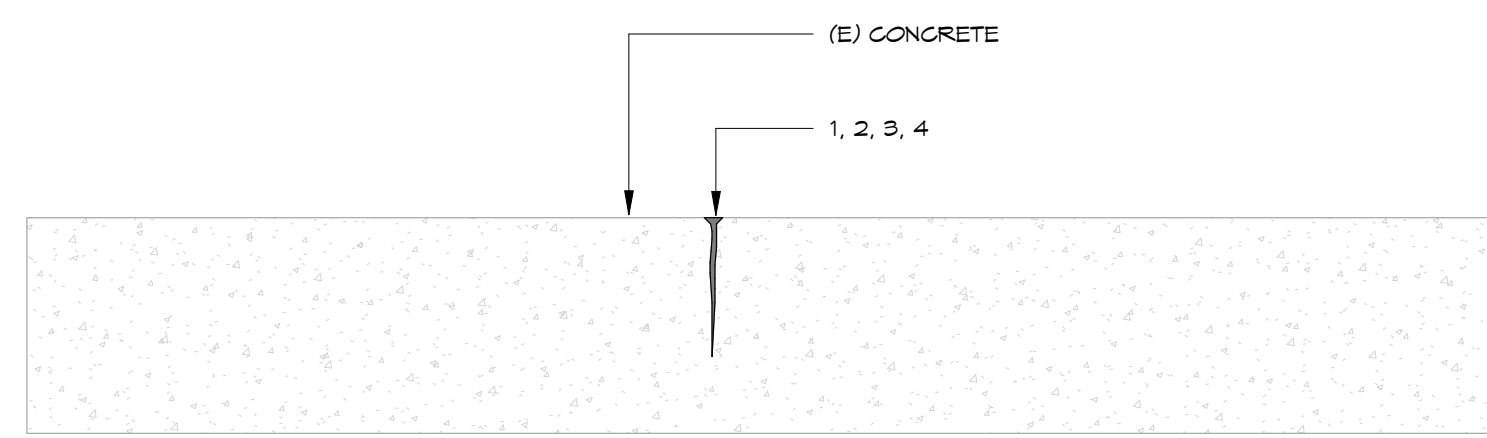


(E) MORTAR REMOVAL



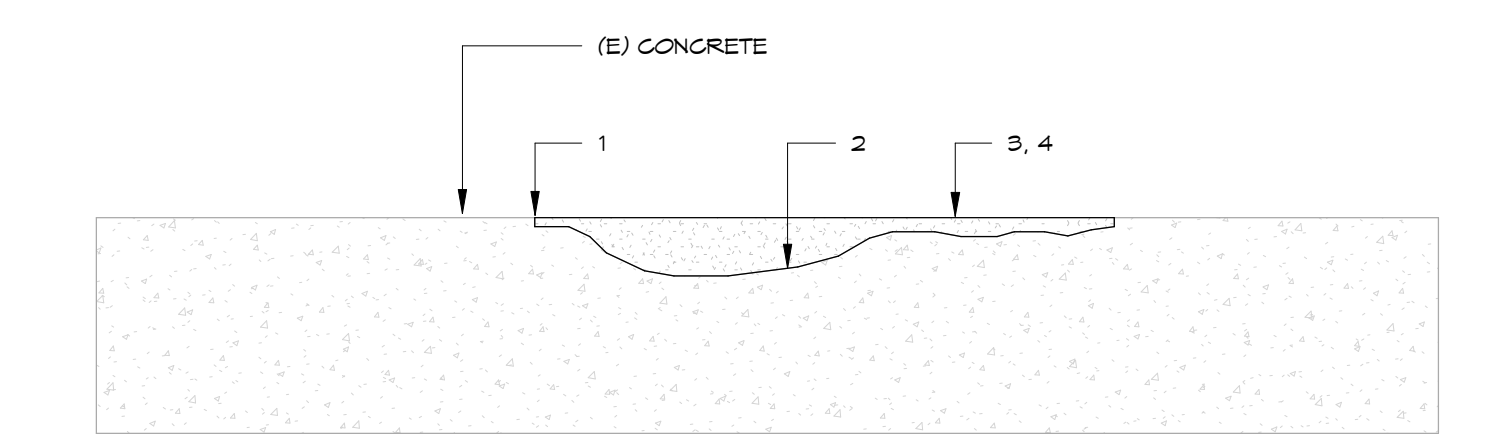
MORTAR REPLACEMENT

- TYP. CONCRETE CRACK REPAIR NOTES**
- IDENTIFY SLAB CRACKS OR JOINTS TO BE REPAIRED AND VEE-NOTCH TOP OF CRACK BY APPROVED MECHANICAL MEANS.
 - REMOVE DUST AND DEBRIS FROM CRACK BY BRUSHING AND BLOWING WITH CLEAN COMPRESSED AIR.
 - AT CRACKS IN HORIZONTAL SURFACES, GRAVITY FEED OR USE EPOXY INJECTION TECHNIQUES TO FILL CRACK FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. AT CRACKS IN VERTICAL SURFACES, USE EPOXY INJECTION TECHNIQUES TO FILL CRACKS FULL DEPTH PER MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON REQUIRED MATERIALS, METHODS, ETC.
 - COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS. REPAIR PRODUCTS LISTED ARE BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE BASIS-OF-DESIGN PRODUCTS.



**2 Typ. Concrete Crack Repair
1 1/2" = 1'-0"**

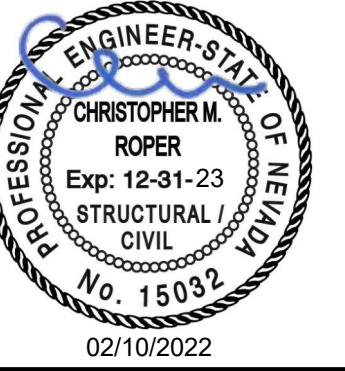
- TYP. CONCRETE SPALL REPAIR NOTES**
- IDENTIFY SPALLED AREAS TO BE REPAIRED AND SAWCUT AROUND PERIMETER OF AREA TO 1/4" DEPTH. REMOVE UNSOUND CONCRETE BY APPROVED MECHANICAL MEANS TO 1/4" MINIMUM DEPTH OR AS REQUIRED TO REACH SOUND CONCRETE BELOW. REPAIR DEPTHS ARE GENERALLY EXPECTED TO BE SHALLOW; IF DEPTH OF UNSOUND CONCRETE EXCEEDS 2" CONTACT THE EOR IMMEDIATELY FOR ADDITIONAL REVIEW AND DIRECTION. KEEP REPAIR AREAS RECTANGULAR TO GREATEST EXTENT POSSIBLE.
 - PRIME SURFACES OF CONCRETE AND REBAR WITH 'SIKA ARMATEC 110 EPOCEM' PER MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL 'SIKAREPAIR-222' (HORIZONTAL SURFACES) OR 'SIKAREPAIR-223' (VERTICAL & OVERHEAD SURFACES) FULL DEPTH AT REPAIR AREA PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED TO MATCH SURFACE LEVEL AND FINISH OF ADJACENT CONCRETE. NOTE THAT APPLICATION LAYER THICKNESS MAY BE LIMITED IN DEPTH (I.E. 1-1/2" MAX.) SO APPLICATION IN MULTIPLE LAYERS OR USE OF AGGREGATE EXTENSION MAY BE REQUIRED.
 - COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS INCLUDING AGGREGATE EXTENSION IF REQUIRED, CURING, ETC. REPAIR PRODUCTS LISTED ARE BASIS-OF-DESIGN PRODUCTS. CONTRACTOR MAY SUBMIT ALTERNATE PRODUCTS TO THE EOR FOR REVIEW AND APPROVAL. PROPOSED ALTERNATE MATERIALS SHALL MEET OR EXCEED THE PROPERTIES OF THE SPECIFIED BASIS-OF-DESIGN PRODUCTS.



**1 Typ. Concrete Spall Repair
1 1/2" = 1'-0"**

**4 Typ. Brick Masonry Crack Repair
6" = 1'-0"**

**3 Typ. Brick Masonry Repointing
6" = 1'-0"**



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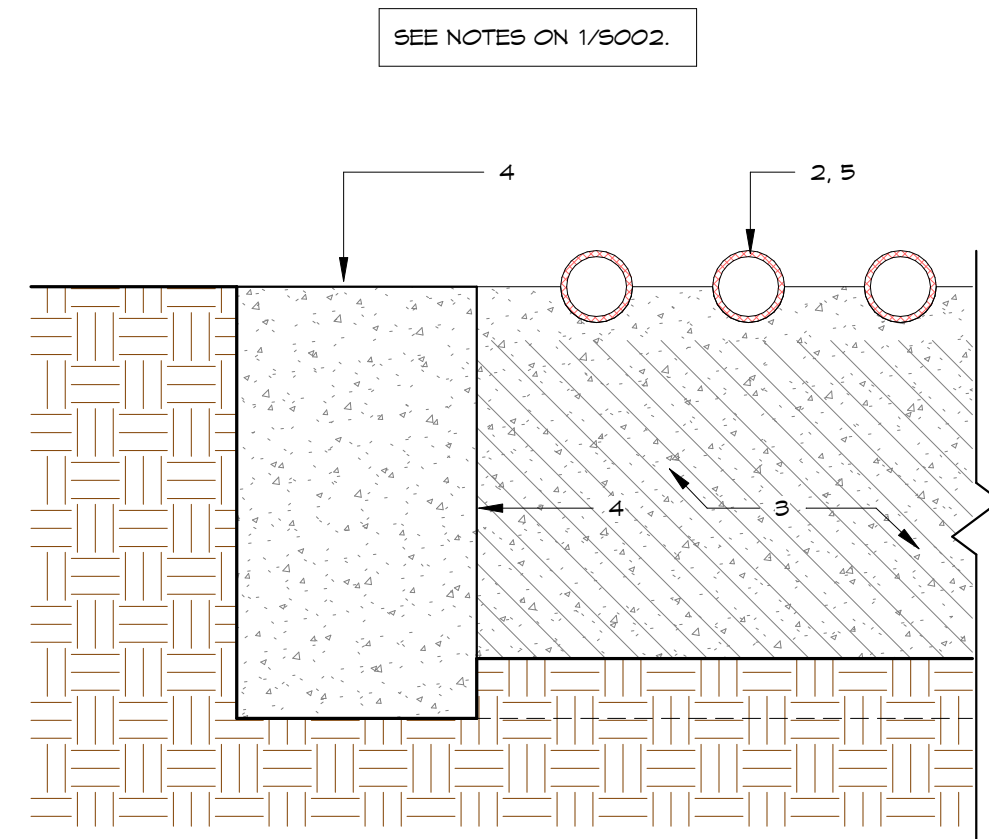
**Dangberg Home Ranch
Restoration Projects**
Douglas County Community Services
1594 Esmeralda Avenue
Minden, Nevada 89423

No.	Description	Date

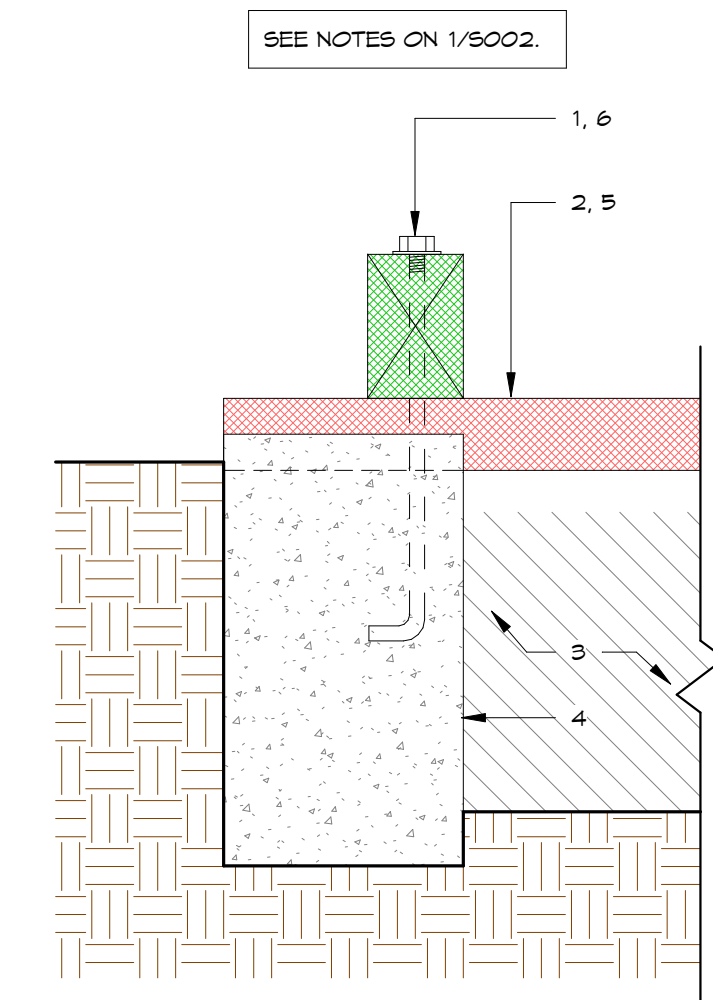
drawn by RGP
reviewed by CMR
date 02/10/2022
project number 21025
drawing name

**ENTRY
CATTLE
GUARD
REPAIRS**

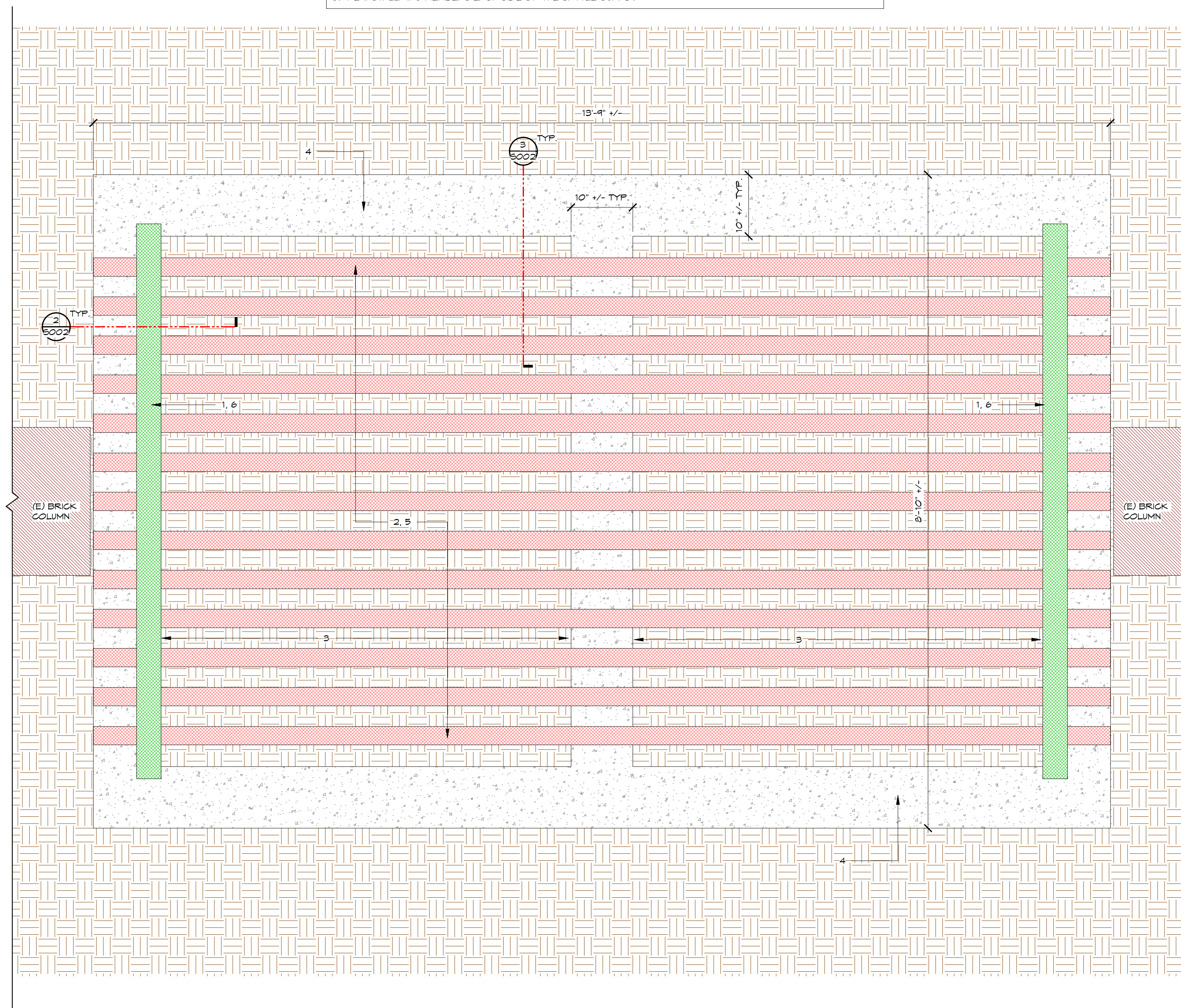
- CATTLE GUARD REPAIR NOTES**
- (E) 4x6 EA. SIDE OF CATTLE GUARD. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. TAKE CARE DURING REMOVAL TO AVOID DAMAGE TO (E) STEEL BOLTS AND NUTS HOLDING THE 4x6 IN PLACE. SET NUTS ASIDE FOR RE-INSTALLATION LATER.
 - (E) 3" PIPES. REMOVE AND SET ASIDE FOR RE-INSTALLATION LATER. NUMBER PIECES SO THEY CAN BE RE-INSTALLED IN THE SAME LOCATIONS.
 - CLEAN ALL LEAVES AND DEBRIS FROM THE WELLS ON EACH SIDE OF THE CATTLE GUARD.
 - PATCH DETEIORATED AND SPALLING CONCRETE ON TOP FACES OF NORTH AND SOUTH WALLS AND ON ALL INTERIOR VERTICAL FACES OF ALL THE 10' CONCRETE WALLS. WHERE IMPRINTS OCCUR (I.E. DOS PAM PRINTS, ETC.) THEY SHALL BE LEFT AS-IS AND NOT PATCHED.
 - RE-INSTALL (E) 3" PIPES AT THE SAME LOCATIONS THEY WERE REMOVED FROM, BUT WITH ENDS CLEANLY ALIGNED EACH SIDE OF THE CATTLE GUARD.
 - RE-INSTALL 4x6 MEMBERS EACH SIDE OF THE CATTLE GUARD.



3 CATTLEGUARD SECTION
1 1/2" = 1'-0"



2 CATTLEGUARD SECTION
1 1/2" = 1'-0"



1 CATTLE GUARD PLAN VIEW
1" = 1'-0"

COMcheck Software Version 4.1.4.3
Interior Lighting Compliance Certificate

Project Information
 Energy Code: 2018 IECC
 Project Title: Danberg Ranch Restoration Projects
 Project Type: Alteration

Construction Site: 1450 Highway 88, Minden, NV 89423
 Owner/Agent: Designer/Contractor:

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-Exhibit (Museum)	1485	1.06	1574
Total Allowed Watts = 1574			

A Area Category	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt. (C X D)	E (C X D)
Exhibit (Museum 1485 sq ft.)	1	6	16	96
LED 1: L1: Decorative: Other:				96
Total Proposed Watts = 96				

Interior Lighting PASSES

Interior Lighting Compliance Statement
 Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.4.3 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title _____ Signature _____ Date _____

ELECTRICAL LEGEND

<ul style="list-style-type: none"> PANELBOARD: SURFACE MOUNTED PANELBOARD: FLUSH MOUNTED SWITCHBOARD OR DISTRIBUTION PANEL TRANSFORMER PULLBOX / VAULT MOTOR STARTER COMBINATION MOTOR STARTER COMBINATION MOTOR STARTER PROVIDED BY OTHERS DISCONNECT SWITCH - FUSIBLE (FUSED PER EQUIP. NAMEPLATE) DISCONNECT SWITCH - NON-FUSIBLE DISCONNECT SWITCH PROVIDED BY OTHERS VARIABLE FREQUENCY DRIVE VARIABLE FREQUENCY DRIVE PROVIDED BY OTHERS ENCLOSED CIRCUIT BREAKER GROUND ROD SHUNT TRIP STATION OR EMERGENCY PUSHBUTTON REMOTE METER 	<ul style="list-style-type: none"> SINGLE RECEPTACLE: 20A, 125V, NEMA 5-20, +18" AFF (UNO) DUPLEX RECEPTACLE: 20A, 125V, NEMA 5-20, +18" AFF (UNO) DUPLEX RECEPTACLE: HALF SWITCHED DUPLEX RECEPTACLE: FLOOR MOUNTED QUAD RECEPTACLE: 20A, 125V, NEMA 5-20, +18" AFF (UNO) QUAD RECEPTACLE: FLOOR MOUNTED ISOLATED GROUND TYPE RECEPTACLE (ORANGE TRIANGLE) - 20A, 125V, NEMA 5-20IG, +18" AFF (UNO) DUPLEX RECEPTACLE GFI TYPE - 20A, 125V, NEMA 5-20 GFI +18" AFF (UNO) DUPLEX RECEPTACLE: ABOVE COUNTER (VERIFY HEIGHT) SPECIAL PURPOSE RECEPT.: SEE DWGS FOR NEMA CONFIG. DUPLEX RECEPTACLE: CEILING MOUNTED MULTI-OUTLET ASSEMBLY: SPACING PER DWGS BLANK GFCI PROTECTIVE DEVICE IN READILY ACCESSIBLE LOCATION (LABEL PROTECTED DEVICES) 	<ul style="list-style-type: none"> GROUND FAULT INTERRUPTER DEVICE METERING DEVICE REMOTE METER SHUNT TRIP DEVICE TRANSFORMER CURRENT TRANSFORMER GENERATOR MOTOR - # INDICATES HP INTERRUPTER SWITCH GROUND FAULT RELAY W/ CT OR SENSOR FUSE CIRCUIT BREAKER DRAWOUT CIRCUIT BREAKER TRANSFER SWITCH (A=AUTOMATIC, M=MANUAL) # FOR POLES 2, 3 OR 4 SURGE PROTECTION DEVICE 	<ul style="list-style-type: none"> A AMPS ADA AMERICANS WITH DISABILITIES ACT AFC ABOVE FINISHED CEILING AFCI ARC-FAULT CIRCUIT INTERRUPTER AFF ABOVE FINISHED FLOOR AFG ABOVE FINISHED GRADE AHJ AUTHORITY HAVING JURISDICTION AIC AMP INTERRUPTING CAPACITY AL ALUMINUM ATS AUTOMATIC TRANSFER SWITCH AWG AMERICAN WIRE GAUGE BC BARE COPPER BKR BREAKER C CONDUIT/RACEWAY CEC CALIFORNIA ENERGY COMMISSION CKT CIRCUIT CLG CEILING CO CONDUIT/RACEWAY ONLY CT CURRENT TRANSFORMER CU COPPER DB DISTRIBUTION BOARD DDC DIRECT DIGITAL CONTROLLER DPDT DOUBLE-POLE, DOUBLE-THROW DPST DOUBLE-POLE, SINGLE-THROW DWG DRAWING (E) EXISTING TO REMAIN ELEC ELECTRICAL EM EMERGENCY EMT ELECTRICAL METALLIC TUBING (F) FUTURE FLA FULL LOAD AMPS FMC FLEXIBLE METAL CONDUIT (STEEL) FPEN FUSE PER EQUIP. NAMEPLATE GFI GROUND FAULT INTERRUPT GFR GROUND FAULT RELAY GND GROUND HID HIGH INTENSITY DISCHARGE HOA HAND-OFF-AUTO SWITCH HP HORSEPOWER HSKP HOUSEKEEPING IMC INTERMEDIATE METAL CONDUIT J-BOX JUNCTION BOX K kcmil (300K = 300 kcmil) KVA KILOVOLT AMPS KW KILOWATT LTG LIGHTING IG ISOLATED GROUND MCB MAIN CIRCUIT BREAKER MCM THOUSAND CIRCULAR MILS MFG MANUFACTURER MLO MAIN LUGS ONLY MS MOTOR STARTER MSB MAIN SWITCHBOARD MTS MANUAL TRANSFER SWITCH NC NORMALLY CLOSED NEC NATIONAL ELECTRICAL CODE NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION NIC NOT IN CONTRACT NL NIGHTLIGHT NO NORMALLY OPEN NTS NOT TO SCALE NVE NV ENERGY P POLE PHI/Ø PHASE PV PHOTOVOLTAIC PNL PANEL PTC PV USA TEST CONDITIONS PWR POWER (R) RELOCATED RAC RIGID ALUMINUM CONDUIT RFC RIGID FIBERGLASS CONDUIT RSC RIGID STEEL CONDUIT SE SERVICE ENTRANCE SPD SURGE PROTECTION DEVICE SPST SINGLE-POLE, DOUBLE-THROW SPST SINGLE-POLE, SINGLE-THROW STC STANDARD TEST CONDITIONS SW SWITCH TEB TELECOM TERMINATION BOARD TYP TYPICAL UL UNDERWRITER'S LABORATORY UNO UNLESS NOTED OTHERWISE UNSW UNSWITCHED UPS UNINTERRUPTED POWER SUPPLY V VOLTS VA VOLT AMPS VFD VARIABLE FREQUENCY DRIVE W WATTS WP WEATHER PROOF (X) EXISTING TO BE REMOVED XFMR OR XF TRANSFORMER
<ul style="list-style-type: none"> DATA / VOICE OUTLET: 18" AFF (UNO) - 1 VOICE, 1 DATA JACK, 2 BLANKS DATA / VOICE OUTLET: FLOOR MOUNTED DATA / VOICE OUTLET: ABOVE COUNTER (VERIFY HEIGHT) MULTI-OUTLET ASSEMBLY: SPACING PER DWGS TELEPHONE OUTLET: 18" AFF (UNO) DATA OUTLET: 18" AFF (UNO) SPEAKER TELEVISION OUTLET: 18" AFF (UNO) TELEPHONE TERMINAL BOARD (TTB) VOLUME CONTROL GROUNDING BAR 	<ul style="list-style-type: none"> NORMALLY OPEN (NO) CONTACT NORMALLY CLOSED (NC) CONTACT COIL - VOLTAGE PER CONTROL DIAGRAMS PILOT LIGHT (LED) PUSH-TO-TEST. LETTER INDICATES COLOR (R=RED, G=GREEN, A=AMBER, Y=YELLOW) PILOT LIGHT (LED) NON PUSH-TO-TEST THERMAL OVERLOAD MAGNETIC OVERLOAD PUSH BUTTON NORMALLY OPEN (NO) PUSH BUTTON NORMALLY CLOSED (NC) HAND-OFF-AUTO (HOA) SELECTOR SWITCH LIMIT SWITCH NORMALLY OPEN (NO) LIMIT SWITCH NORMALLY CLOSED (NC) PUSH BUTTON ILLUMINATED (LED) 	<ul style="list-style-type: none"> TICS = NO. OF #12 WIRES (UNO) IF MORE THAN TWO WITHIN RACEWAY. GROUNDING CONDUCTOR (NOT SHOWN) ALWAYS REQUIRED. ISOLATED GROUNDING CONDUCTOR NEUTRAL CONDUCTOR PHASE CONDUCTOR(S) BRANCH CIRCUIT (WHEN TIC MARKS ARE NOT SHOWN) = (1) PHASE, (1) NEUTRAL AND (1) GROUNDING CONDUCTOR HOMERUN TO PANELBOARD OR DEVICE HOMERUN CIRCUIT DESIGNATION GROUNDING CONDUCTOR NEUTRAL CONDUCTOR (N=1, 2N=2 NEUTRALS, 3N=3 NEUTRALS) PHASE CONDUCTOR(S) PANELBOARD DESIGNATION HOMERUN CIRCUIT DESIGNATION (3 PHASE CIRCUIT SHOWN) GROUNDING CONDUCTOR PHASE CONDUCTOR(S) PANELBOARD DESIGNATION 	
<ul style="list-style-type: none"> CONDUIT/RACEWAY IN WALL OR ABOVE CEILING CONDUIT/RACEWAY BELOW GRADE OR BELOW FLOOR CONDUIT/RACEWAY UP CONDUIT/RACEWAY DOWN BREAK OR RUN CONTINUES OVERHEAD SERVICE PRIMARY SECONDARY COMMUNICATIONS OR SIGNAL TELEPHONE TELEVISION LOW VOLTAGE AND/OR CONTROL WIRING EMERGENCY CIRCUIT CONDUIT/RACEWAY STUB OUT: MARK AND CAP (SITE) CONDUIT/RACEWAY SLEEVE 	<ul style="list-style-type: none"> LIGHTING FIXTURE - LOWERCASE LETTER DENOTES SWITCHING WALL MOUNTED FIXTURE RECESSED DOWNLIGHT SURFACE LUMINAIRE POLE MOUNTED LIGHT (# OF HEADS INDICATED ON DRAWING) STRIP FIXTURE BOLLARD RECESSED DOWNLIGHT (WALL WASH) TRACK LIGHTING EMERGENCY LIGHTING UNIT EXIT SIGN FIXTURE - SHADED AREA DENOTES LIGHTED FACE - ARROWS DENOTE DIRECTION EMERGENCY FIXTURE 	<ul style="list-style-type: none"> THERMOSTAT (PROVIDED BY MECH. CONTRACTOR UNO) JUNCTION BOX (SIZE AS REQUIRED UNO) SHEET NOTE DESIGNATION FIXTURE DESIGNATION: F1=TYPE (SEE FIXTURE SCH.) REVISION DELTA: NUMBER REPRESENTS REVISION FEEDER DESIGNATION EQUIPMENT CONNECTION 	
<ul style="list-style-type: none"> 20 SINGLE POLE CIRCUIT BREAKER 20/2 TWO POLE CIRCUIT BREAKER 20/3 THREE POLE CIRCUIT BREAKER 20A ARC FAULT CIRCUIT BREAKER 20C CONTROLLABLE CIRCUIT BREAKER 20G GFI CIRCUIT BREAKER 	<ul style="list-style-type: none"> L = LIGHTING R = RECEPTACLES E = EQUIPMENT M = MOTOR M1 = LARGEST MOTOR K = KITCHEN EQUIP H = ELECTRIC HEAT 		

NOTE: THIS IS A MASTER SYMBOL LIST. IT MAY BE THAT NOT ALL SYMBOLS SHOWN ARE USED WITHIN THIS SET OF PLANS. HEIGHTS GIVEN ARE TO CENTER LINE OF DEVICE.

LIGHTING FIXTURE SCHEDULE

LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE TRIMS, BALLASTS, MOUNTING EQUIPMENT, FITTINGS AND LAMPS AS REQUIRED BY THE SPECIFICATIONS AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION. THIS IS NOT A STANDALONE SCHEDULE AND FIXTURES MUST INCORPORATE ALL WORK INDICATED OR IMPLIED THROUGHOUT THE DRAWINGS AND SPECIFICATIONS. VERIFY ALL FIXTURE FINISHES AND LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH IN. REFER TO THE ARCHITECTURAL DOCUMENTS FOR ALL CEILING TYPES.

SUBSTITUTION: DEFINITIONS

- OR EQUAL = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS WILL BE ALLOWED. ENGINEER'S PRE-BID APPROVAL IS NOT REQUIRED. PROPOSED EQUAL FIXTURES ARE SUBJECT TO REVIEW DURING THE STANDARD SUBMITTAL PROCESS.
- NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED.
- SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATIONS. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.

TYPE	SYMBOL	DESCRIPTION AND MANUFACTURER
L1	⊙	LED, 4" INTEGRATED LED, 2700K, BLACK FINISH, WITH TRADITIONAL 10" DIAMETER OPAL SCHOOLHOUSE SHADE WITH NO STRIPE. CANOPY DIMENSIONS: 5.6"W x 4.4"H
		LAMP: LED/2700K VOLTAGE: 120V MANUFACTURER: SCHOOLHOUSE, NEWBURY 4" INTEGRATED LED WITH 10" TRADITIONAL OPAL SCHOOLHOUSE SHADE
		SUBSTITUTIONS: ○ OR EQUAL ● SUBJECT TO REVIEW ○ NO EQUAL

LIGHTING CONTROL SEQUENCE OF OPERATIONS

- OCCUPANCY SENSOR TIME OUT IS SET TO 20 MINUTES.

DRAWING SCHEDULE

SHEET	DESCRIPTION	
E001	Electrical Legend, Fixture Schedule and IECC	●
E002	Online Diagram, Panel Schedules, Trench Detail	●
E101	Electrical Site Plan	●
E201	Lighting Plans	●
E301	Power Plans	●
TOTAL SHEETS IN ISSUE:		5

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consultant

project

Dangberg Home Ranch Restoration Projects

Dangberg Home Ranch
 1450 nv-88
 Minden, Nevada 89423

revisions

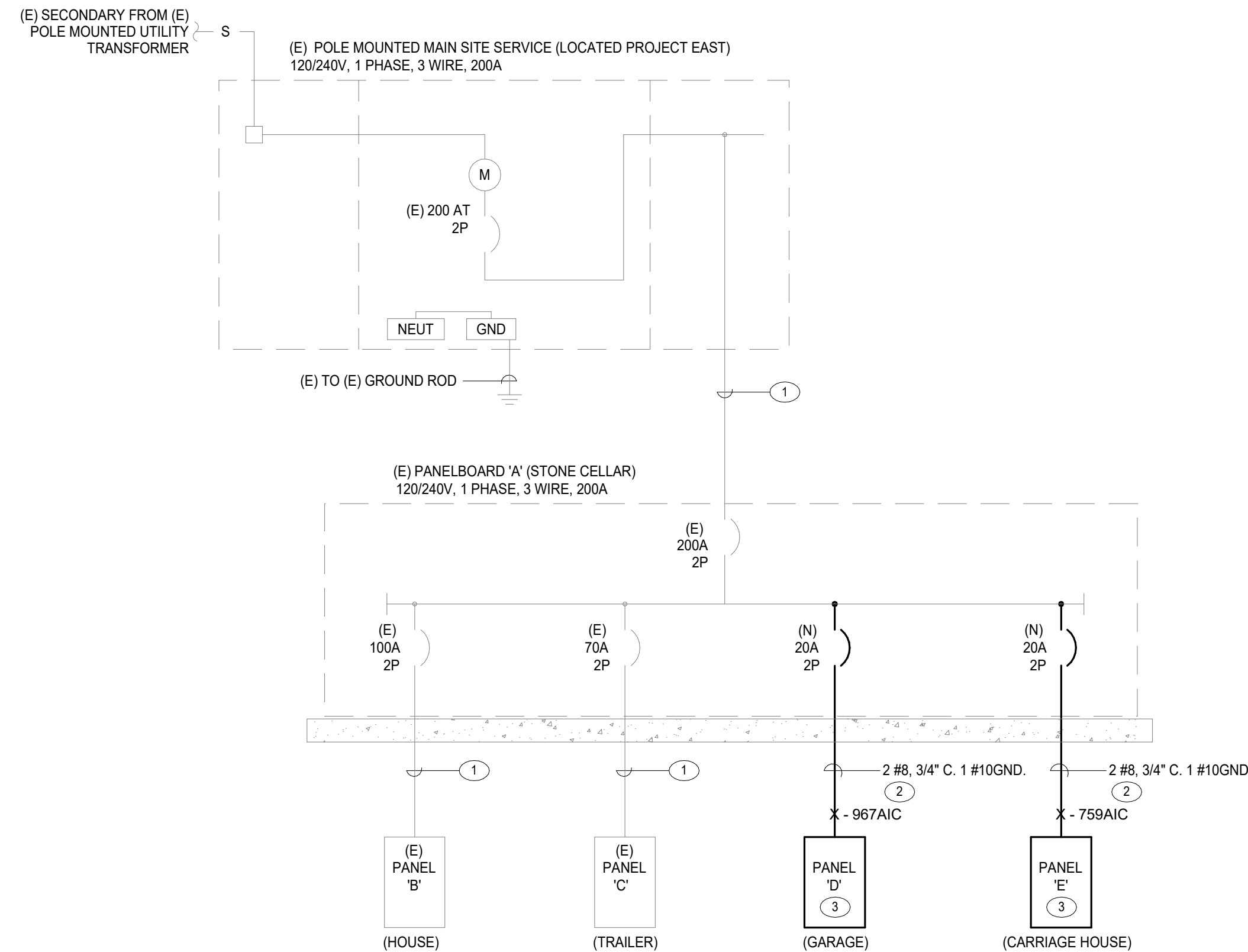
No.	Description	Date

drawn by: KSP
 reviewed by: JEG
 date: 02/10/2022
 project number: 21018
 drawing name:

Electrical Legend, Fixture Schedule and IECC

sheet number

E001



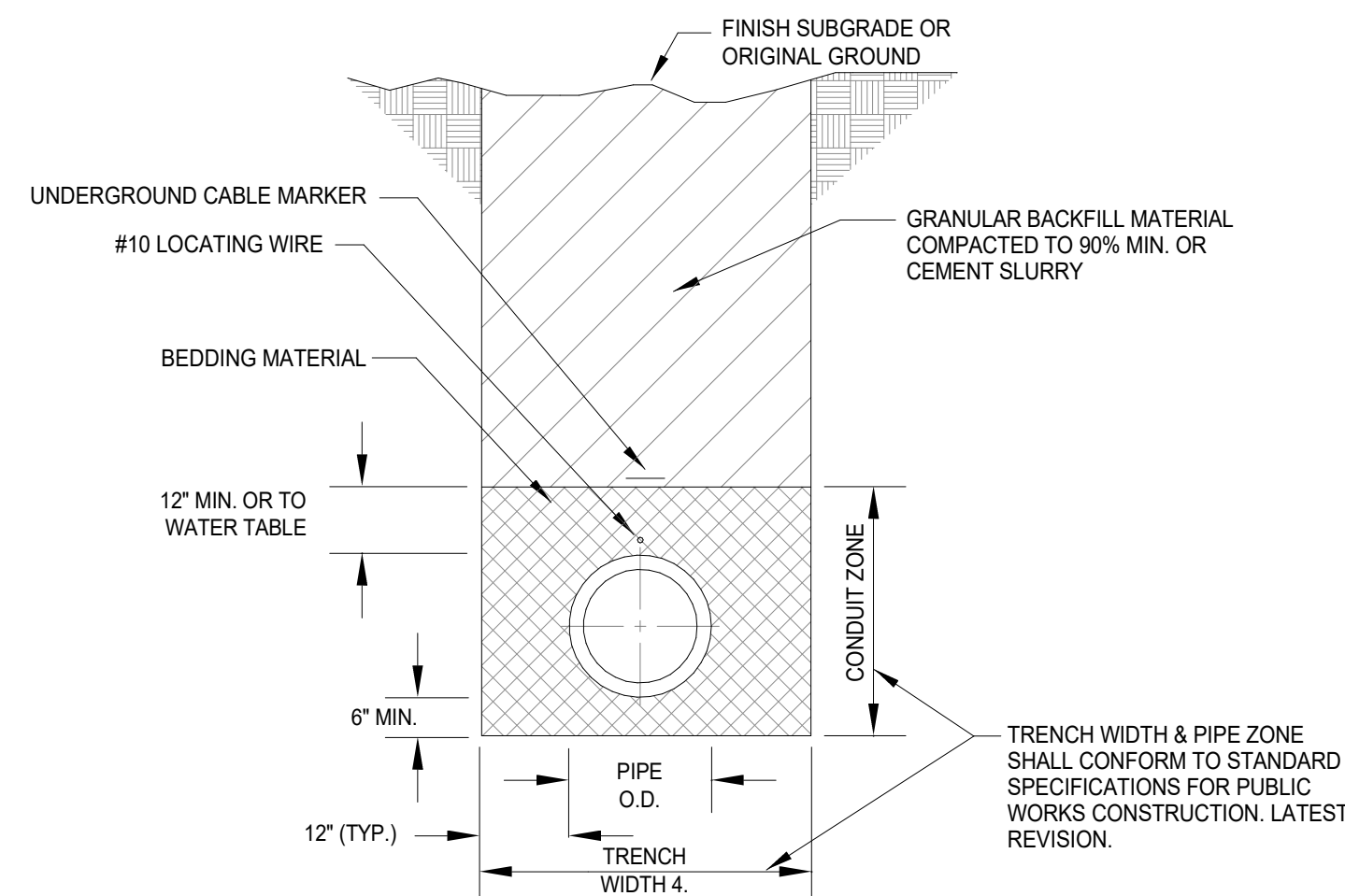
GENERAL NOTES

- (E) AND/OR SOLID LINES INDICATE EXISTING EQUIPMENT, (N) AND/OR HEAVY SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- SALVAGEABLE ITEMS REMOVED DURING DEMOLITION SHALL BE OFFERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL OR REMOVAL FROM SITE.
- ALL CONDUIT AND WIRING SHALL BE NEW. ALL WIRING AND BUSSING TO BE COPPER, ALUMINUM IS NOT ALLOWED.

SHEET NOTES

- (E) IN-GRADE CONDUIT AND WIRE.
- INTERCEPT AT EXISTING BUILDING EXTERIOR EXTEND VIA UNDERGROUND AS INDICATED ON THE SITE PLAN. ALL EXISTING FEEDERS TO REMAIN. PROVIDE EXTERIOR AND IN-GRADE PULL CANS AND SPLICE BOXES WITH ACCESS TO SAME AS NECESSARY.
- SURFACE MOUNT ON BUILDING EXTERIOR AS INDICATED ON PLANS. PROVIDE NEMA 3R ENCLOSURE AND WEATHERTIGHT CONNECTIONS.

1 Online Diagram
E002 Not To Scale



- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST REVISION.
 - BEDDING MATERIAL SHALL BE CLASS "A", "B", OR "C", AND SHALL BE COMPACTED TO 95% MINIMUM. FOR ELECTRICAL CONDUIT TRENCHES LESS THAN 12" IN WIDTH, INCLUDING VERMER TRENCHES, BEDDING USED AS AN ALTERNATE TO CLASS "A", "B", OR "C" MATERIAL WITH WRITTEN APPROVAL FROM THE STATE ENGINEER FOR EACH SPECIFIC APPLICATION.
 - ALL EXCAVATIONS SHALL CONFORM TO THE LATEST O.S.H.S.-REQUIREMENTS. SHORING OR SLOPE CUT MAY BE NECESSARY, BUT THERE WILL BE NO PAYMENT FOR ADDITIONAL EXCAVATION, BEDDING, BACKFILL, OR SHORING.
 - CONTINUOUS UNDERGROUND CABLE MARKER SHALL BE INSTALLED.

2 Trench Excavation / Backfill
E002 Not To Scale

Panel: (E) A										Location:			
Type	Description	Trip	Poles	#	A	B	#	Poles	Trip	Description	Type		
E	(E) TRAILER SUB PANEL 'C'	70	2	1	3886	9066 VA	2	2	100	(E) HOUSE SUB PANEL	E		
E	(E) STONE BUILDING POWER	20	1	5	500	500 VA	4	1	20	(E) LOAD	E		
E	(E) LOAD	20	1	7		500 VA	8	1	20	(E) LAUNDRY BLDG POWER	E		
E	(E) LOAD	20	1	9	500	500 VA	10	1	20	(E) LOAD	E		
L; R; Spare	PANEL 'E'	20	2	11	540	740 VA	14	1	20	(E) LOAD	E		
--	Space	--	1	15	--	--	16	2	20	PANEL 'D'	L; R; Spare		
--	Space	--	1	17	--	--	18	1	--	Space	--		
--	Space	--	1	19	--	--	20	1	--	Space	--		
--	Space	--	1	21	--	--	22	1	--	Space	--		
--	Space	--	1	23	--	--	24	1	--	Space	--		
--	Space	--	1	25	--	--	26	1	--	Space	--		
--	Space	--	1	27	--	--	28	1	--	Space	--		
--	Space	--	1	29	--	--	30	1	--	Space	--		
--	Space	--	1	31	--	--	32	1	--	Space	--		
Total Load:					16232 VA		15392 VA						
Total Amps:					135 A		128 A						

Copper Bus Size	200	Ground	Standard	Notes:
Voltage	120/240 Single	Mounting	Surface	EXISTING PANELBOARD.
Phase	1	Enclosure	NEMA 1	NEW LOADS ARE SHOWN IN BOLD.
Wire	3	# of 1-Pole Circuits	32	
Lugs		Connected kVA:	31624 VA	MAXIMUM ONE YEAR HISTORICAL LOAD WAS 25.9KW ON 02/13/2020 AND IS SHOWN AS EXISTING LOADS. THE HISTORICAL MAXIMUM DEMAND AT 125% PLUS THE NEW LOAD OF 2.22KVA EQUALS 34.6KVA. THIS PANELBOARD IS CALCULATED TO WITHSTAND THE ADDED NEW LOAD.
Breaker AIC Rating		Connected Amps:	132 A	
Neutral	100.00%	Demand kVA:	31624 VA	
Feeder OCPD Size		Demand Amps:	132 A	

Panel: D										Location:			
Type	Description	Trip	Poles	#	A	B	#	Poles	Trip	Description	Type		
L	GARAGE LIGHTING	20	1	1	200	540 VA	2	1	20	GARAGE RECEPTACLE	R		
--	Spare	20	1	3		0 VA	4	1	20	Spare	--		
--	Spare	20	1	5	0	0 VA	6	1	20	Spare	--		
Total Load:					740 VA		0 VA						
Total Amps:					6 A		0 A						

Copper Bus Size	100	Ground	Standard	Notes:
Voltage	120/240 Single	Mounting	Surface	
Phase	1	Enclosure	NEMA 3R	
Wire	3	# of 1-Pole Circuits	6	
Lugs	MCB	Connected kVA:	740 VA	
Breaker AIC Rating	10KAIC	Connected Amps:	3 A	
Neutral	100.00%	Demand kVA:	740 VA	
Feeder OCPD Size	20A	Demand Amps:	3 A	

Panel: E										Location:			
Type	Description	Trip	Poles	#	A	B	#	Poles	Trip	Description	Type		
L	CARRIAGE HOUSE LIGHTING	20	1	1	400	540 VA	2	1	20	CARRIAGE RECEPTACLE...	R		
--	Spare	20	1	3		0 VA	4	1	20	CARRIAGE RECEPTACLE...	R		
--	Spare	20	1	5	0	0 VA	6	1	20	Spare	--		
Total Load:					940 VA		540 VA						
Total Amps:					8 A		5 A						

Copper Bus Size	100	Ground	Standard	Notes:
Voltage	120/240 Single	Mounting	Surface	
Phase	1	Enclosure	NEMA 3R	
Wire	3	# of 1-Pole Circuits	6	
Lugs	MCB	Connected kVA:	1480 VA	
Breaker AIC Rating	10KAIC	Connected Amps:	6 A	
Neutral	100.00%	Demand kVA:	1480 VA	
Feeder OCPD Size	20A	Demand Amps:	6 A	

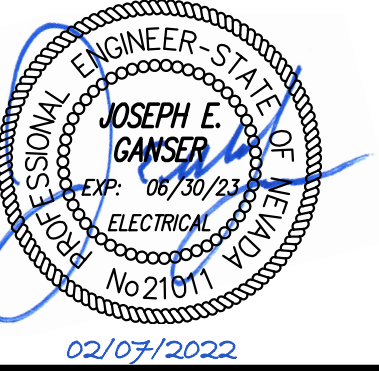
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Dangberg Home Ranch Restoration Projects
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revisions

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drawing name

Online Diagram,
Panel Schedules,
Trench Detail

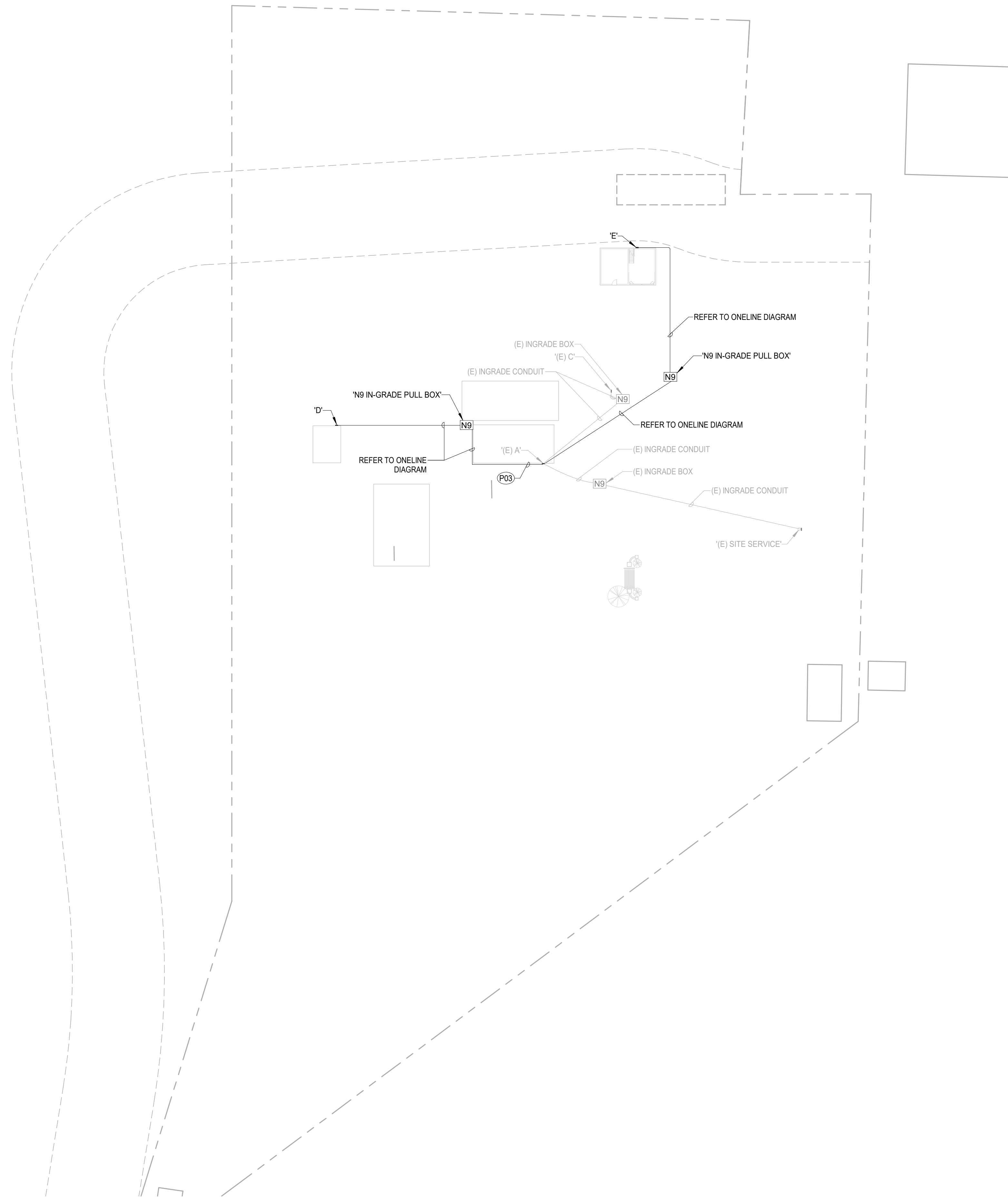
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E002



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1 Electrical Site Plan
 E101 Scale: 1" = 40'-0"

GENERAL NOTES

- (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- SEE ONELINE DIAGRAM(S) FOR CONDUIT, WIRE SIZES AND EQUIPMENT REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH APPLICABLE PUBLIC WORKS STANDARDS, DRAWINGS AND REPRESENTATIVES FOR DETERMINING THE EXACT RESPONSIBILITY OF EACH PARTY.
- SEE UTILITY DRAWINGS FOR ALL UTILITY WORK REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR INCLUDING ALL WORK REQUIRED IN BID. COORDINATE WITH EACH NEW AND EXISTING SITE UTILITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL 1-800-227-2600 FOR LOCATES PRIOR TO DIGGING. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL NON-UTILITY UNDERGROUND ITEMS.
- THE MAXIMUM NUMBER OF CONDUIT BENDS SHOULD NOT BE GREATER THAN 270 DEGREES BETWEEN PULLING STRUCTURES. THIS INCLUDES THE AGGREGATE OF ALL HORIZONTAL AND VERTICAL CHANGES.
- ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- ALL RECEPTACLES WITH WEATHER PROOF DESIGNATION SHALL BE PROVIDED WITH 'WHILE IN USE' COVERS.
- ALL CONDUIT, INNERDUCT, PULLBOXES AND VAULTS SHALL BE LABELED PER THE SPECIFICATIONS.
- COORDINATE LOCATION OF BELOW-GRADE CONDUITS, DUCT BANKS, ETC. WITH CIVIL ENGINEER AND OTHER TRADES AND ALL EXISTING CONDITIONS PRIOR TO ROUGH-IN.

SHEET NOTES

- P03 ROUTE CONDUIT ON BUILDING EXTERIOR SIMILAR TO EXISTING CONDUIT. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.

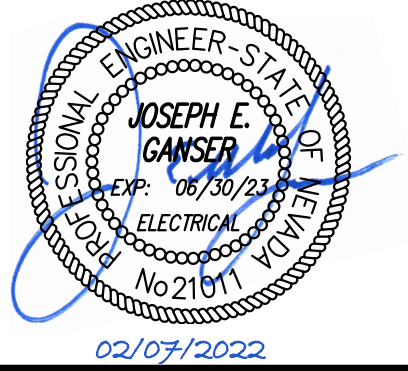
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Electrical Site Plan

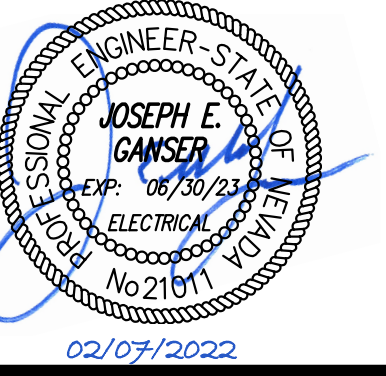
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E101



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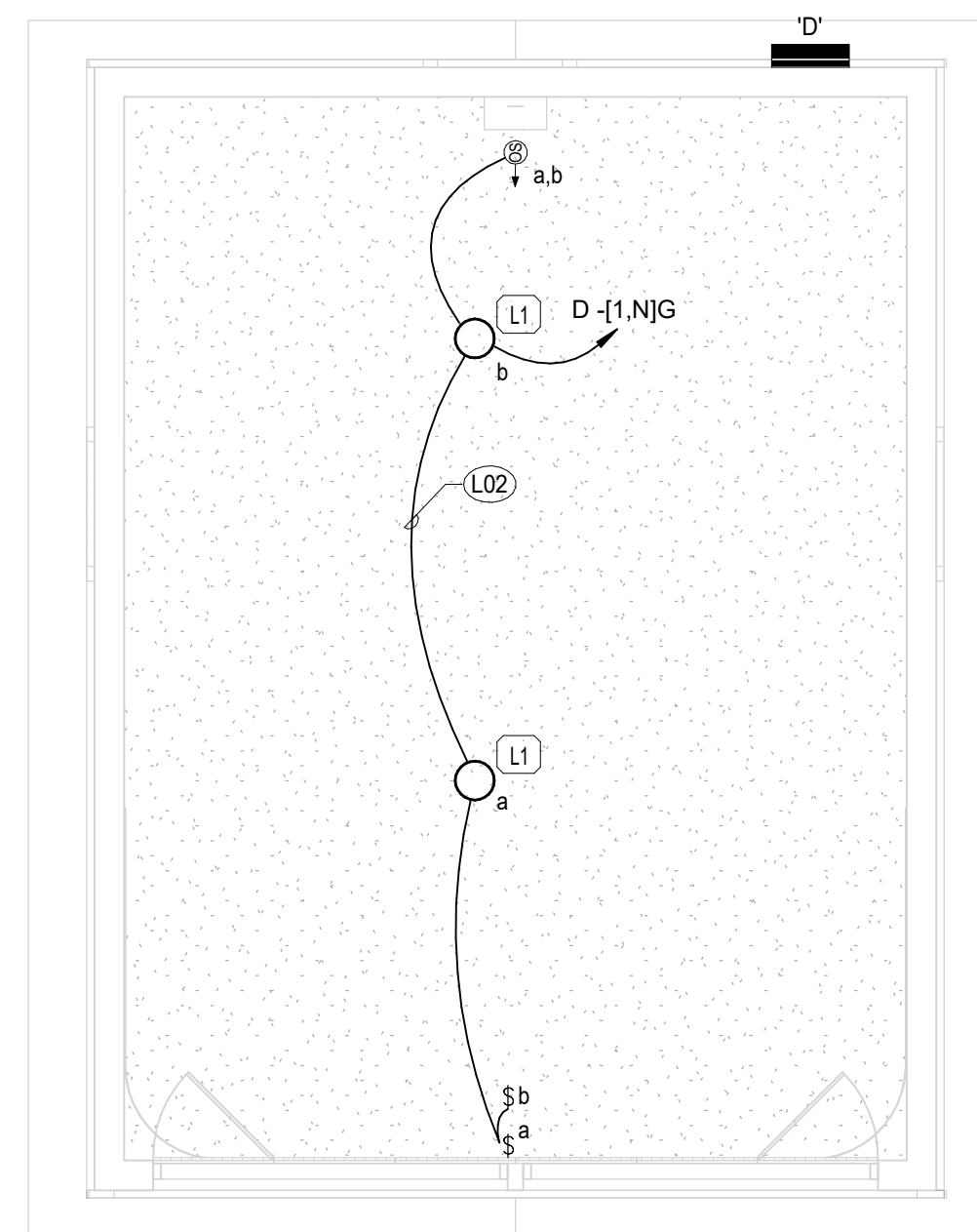
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SHEET NOTES

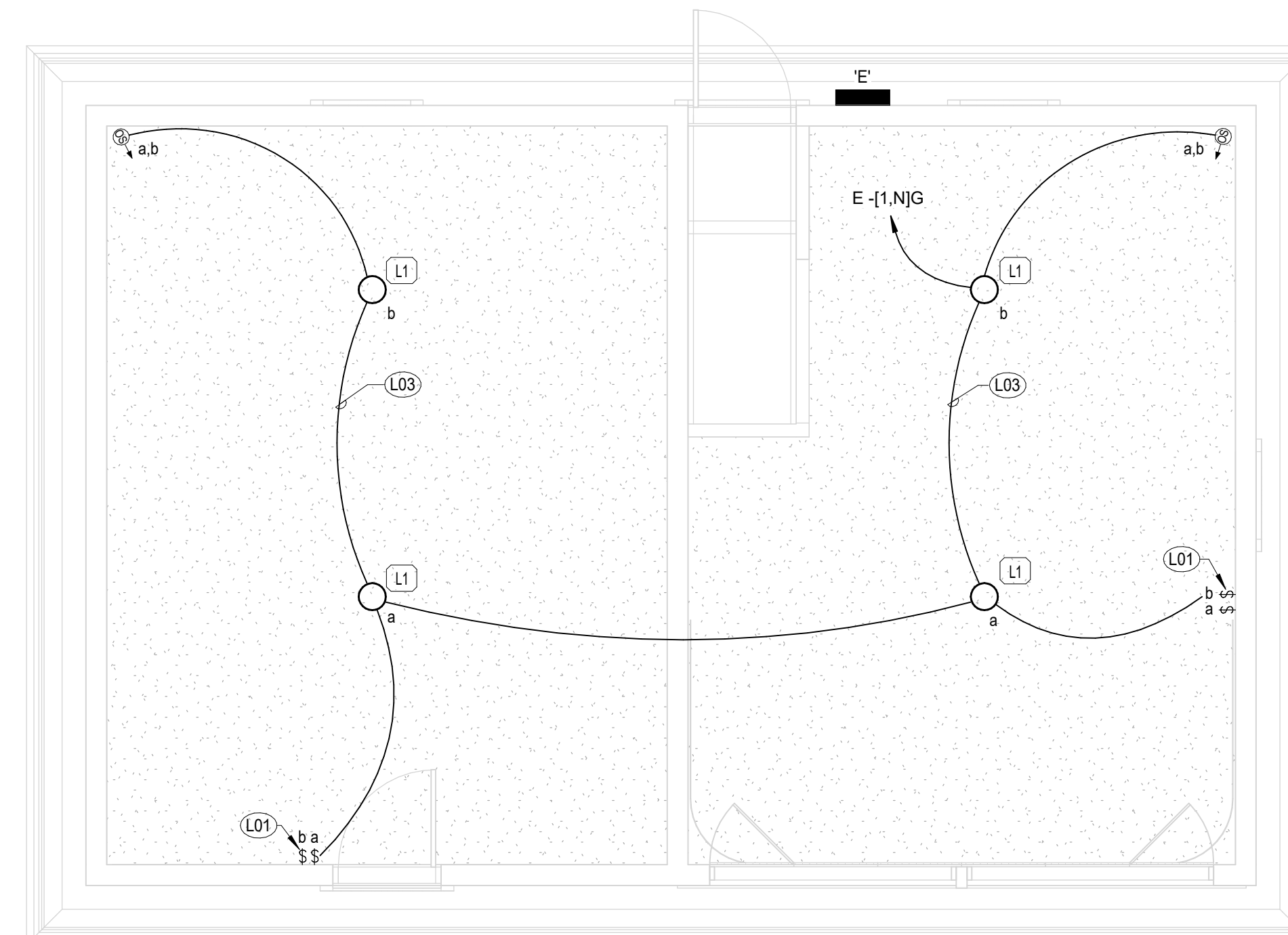
- L01 ALL FACEPLATES SHALL BE STAINLESS STEEL, TYPICAL.
- L02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY. SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- L03 ROUTE NEW CONDUIT ABOVE NEW CEILING. CONFIRM ROUTING AND MOUNTING WITH ARCHITECT PRIOR TO ROUGH-IN.

GENERAL NOTES

- 1. (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- 4. UNLESS NOTED OTHERWISE ELECTRICAL CONDUITS SHALL BE RUN CONCEALED WHERE BUILDING CONSTRUCTION ALLOWS. ANY EXPOSED CONDUIT SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED CONDUIT, FITTING, SUPPORTS, ETC SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY ARE INSTALLED.
- 5. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS, SECTIONS, ELEVATIONS, ETC. FOR EXACT LOCATION OF LIGHTING FIXTURES.
- 6. EXACT LOCATION AND MOUNTING HEIGHT OF EXTERIOR BUILDING-MOUNTED FIXTURES SHALL BE COORDINATED WITH ARCHITECT PRIOR TO ROUGH-IN.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL FIXTURE LOCATIONS, ABOVE-CEILING HOUSING CLEARANCES, ETC. WITH MECHANICAL, PLUMBING, SPRINKLER CONTRACTOR AND OTHER TRADES PRIOR TO ROUGH-IN.



2 Garage Lighting Plan
E201 Scale: 1/4" = 1'-0"



1 Carriage House Lighting Plan
E201 Scale: 1/4" = 1'-0"

project

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Lighting Plans

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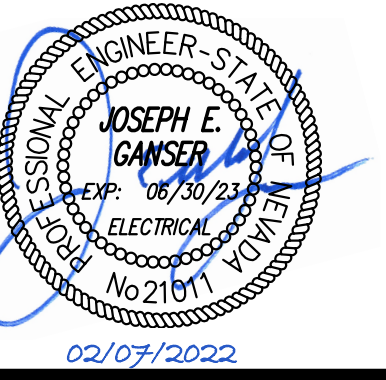
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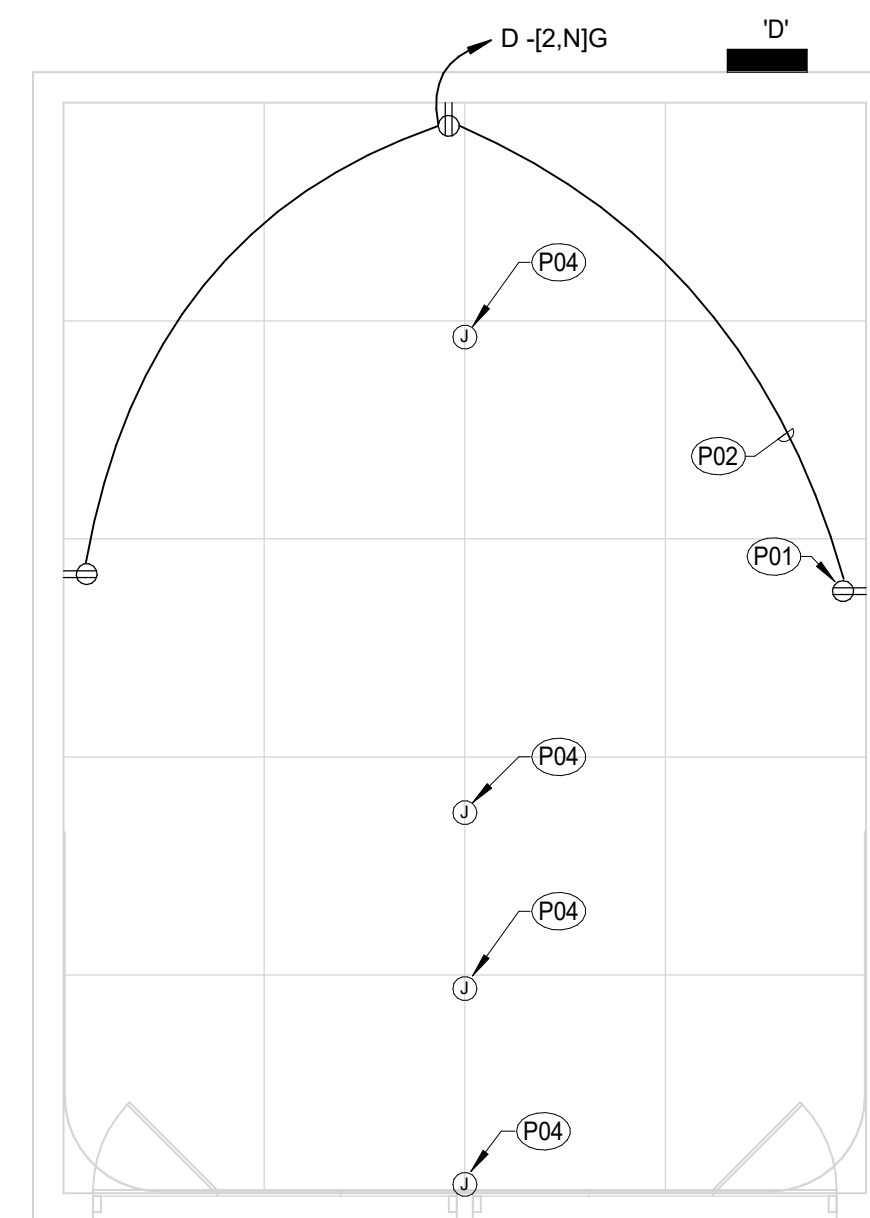
consultant

SHEET NOTES

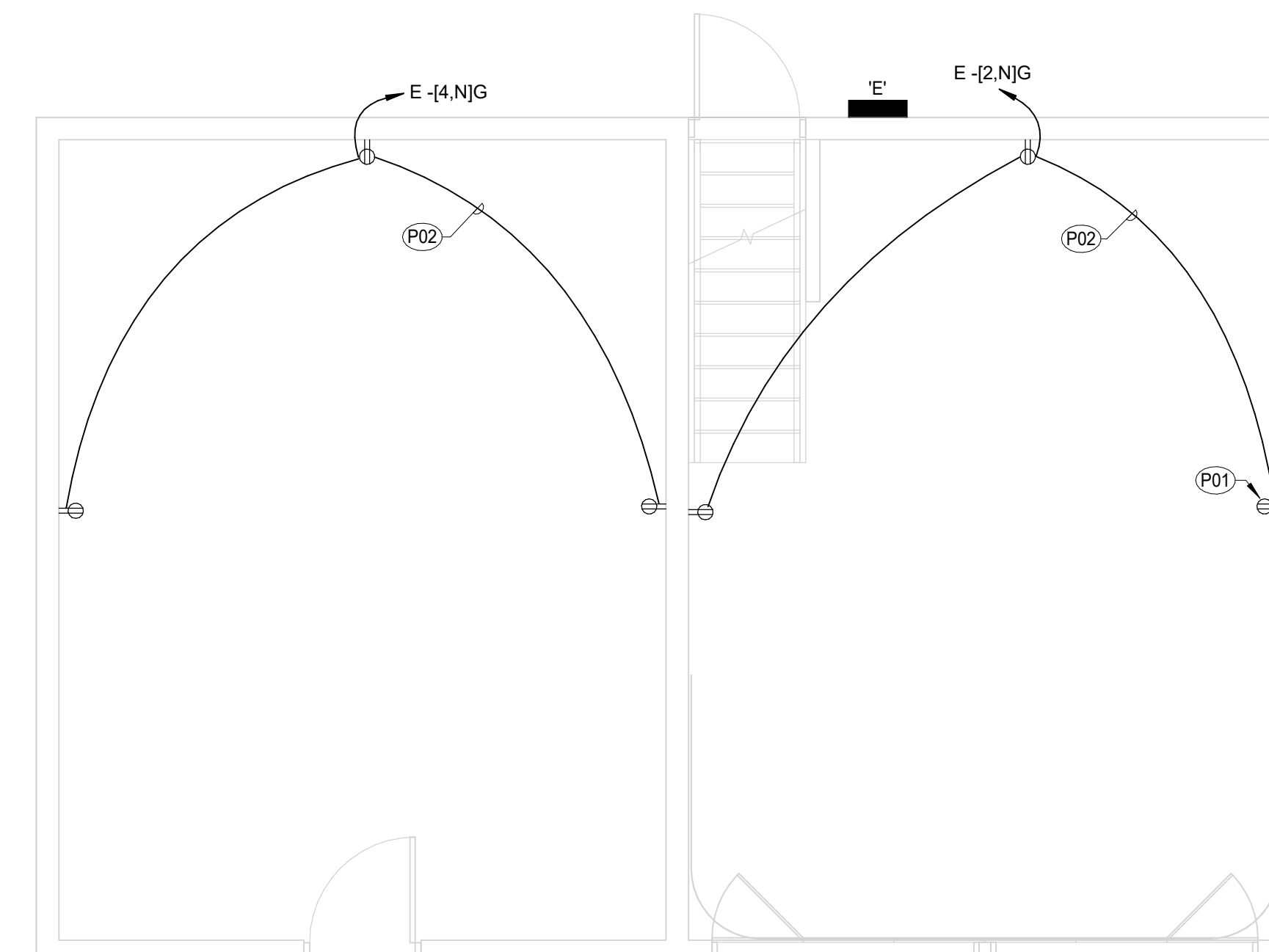
- P01 ALL FACEPLATES SHALL BE STAINLESS STEEL, TYPICAL
- P02 ROUTE WIREMOLD V500 SERIES OR EQUAL SURFACE RACEWAY COMPLETE WITH ALL NECESSARY TRANSITIONS, SUPPORTS AND CONNECTIONS MOUNTED HIGH AND TIGHT TO BUILDING LINES. PAINT TO MATCH SURROUNDING FINISH PER ARCHITECT DIRECTION. PRIOR TO ROUGH-IN TO MINIMIZE CONDUIT VISIBILITY. SUBMIT TO ARCHITECT COMPLETE SHOP DRAWING OF CONTRACTOR PROPOSED CONDUIT ROUTING.
- P04 REMOVE EXISTING ELECTRICAL DEVICES AND NON-DESTRUCTIVELY CLEAN AND REFURBISH DEVICES FOR VISUAL PURPOSES ONLY. REMOVE EXISTING KNOB AND TUBE WIRING ACCESSIBLE AND VISIBLE BELOW EXISTING CEILING.

GENERAL NOTES

- 1. (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR SHALL COORDINATE FINAL RECEPTACLE AND PANELBOARD LOCATIONS WITH THE OWNER PRIOR TO ROUGH-IN.
- 4. COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF GENERAL RECEPTACLES, SPECIAL OUTLETS, PANELBOARDS AND DISCONNECT SWITCHES WITH OWNER AND EQUIPMENT SUPPLIERS PRIOR TO ROUGH-IN.



2 Garage Power Plan
E301 Scale: 1/4" = 1'-0"



1 Carriage House Power Plan
E301 Scale: 1/4" = 1'-0"

project

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Power Plans

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